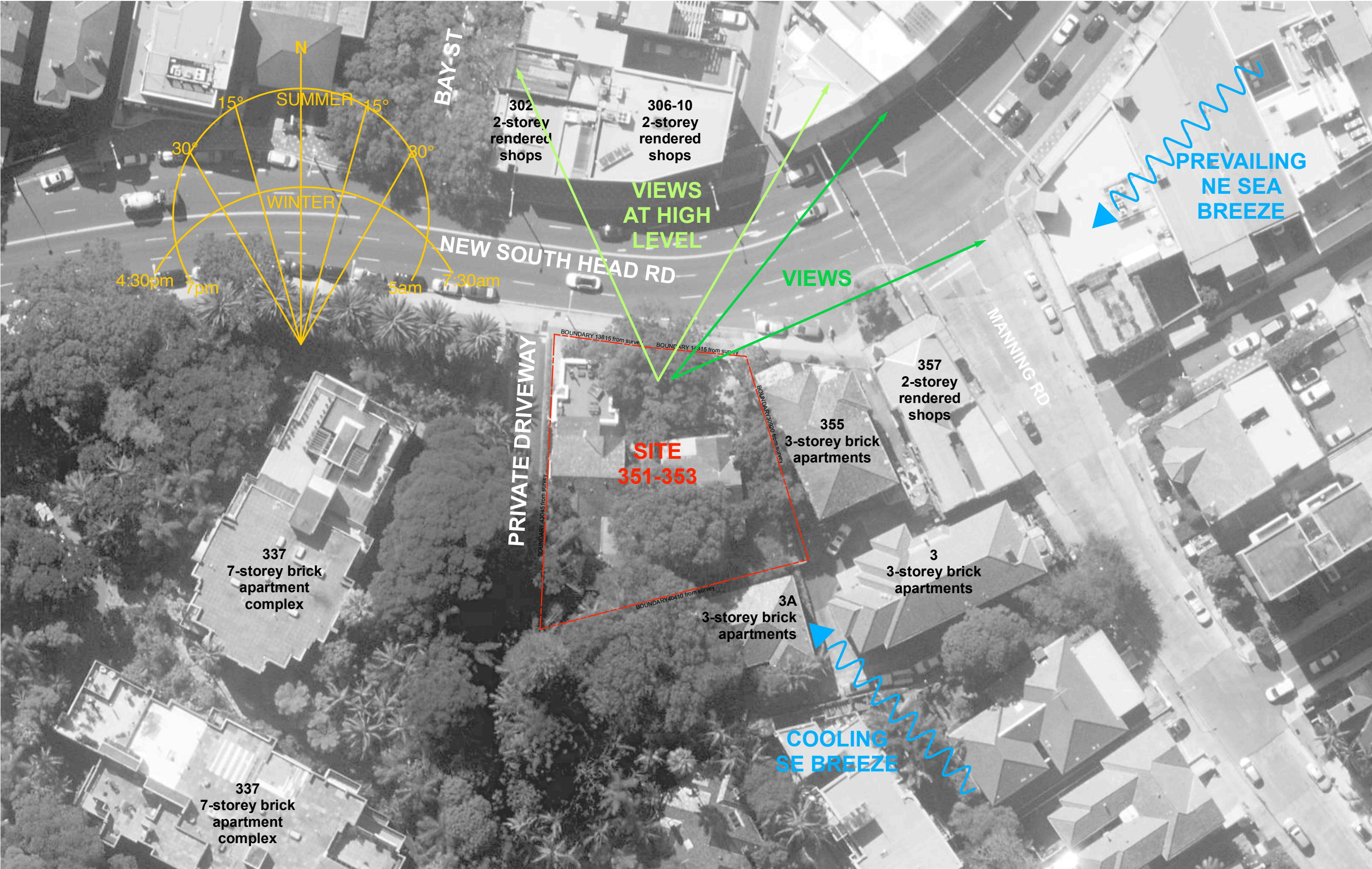
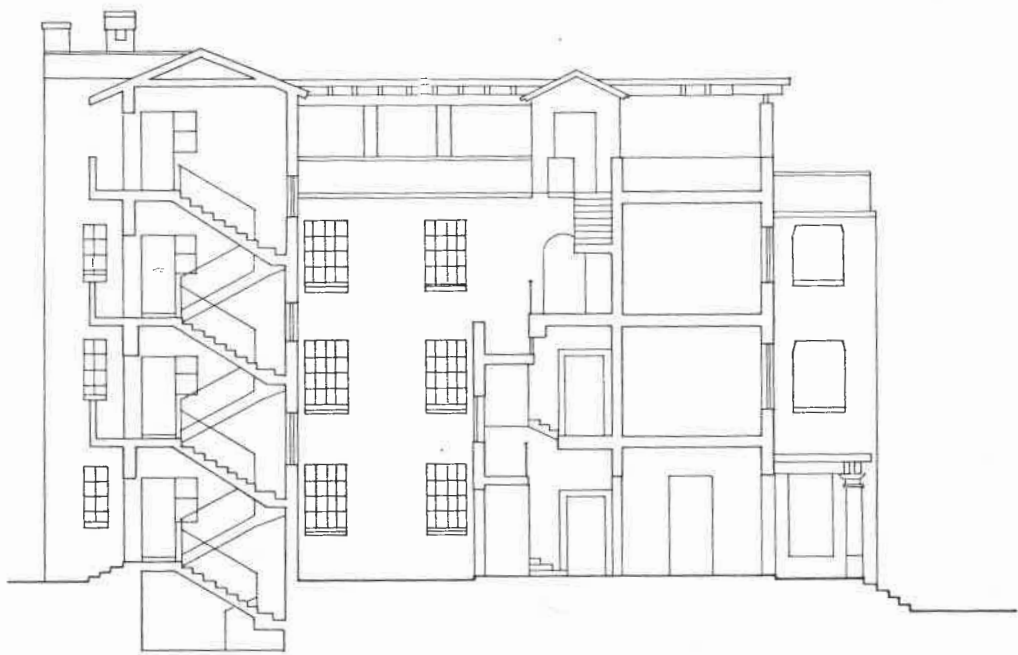




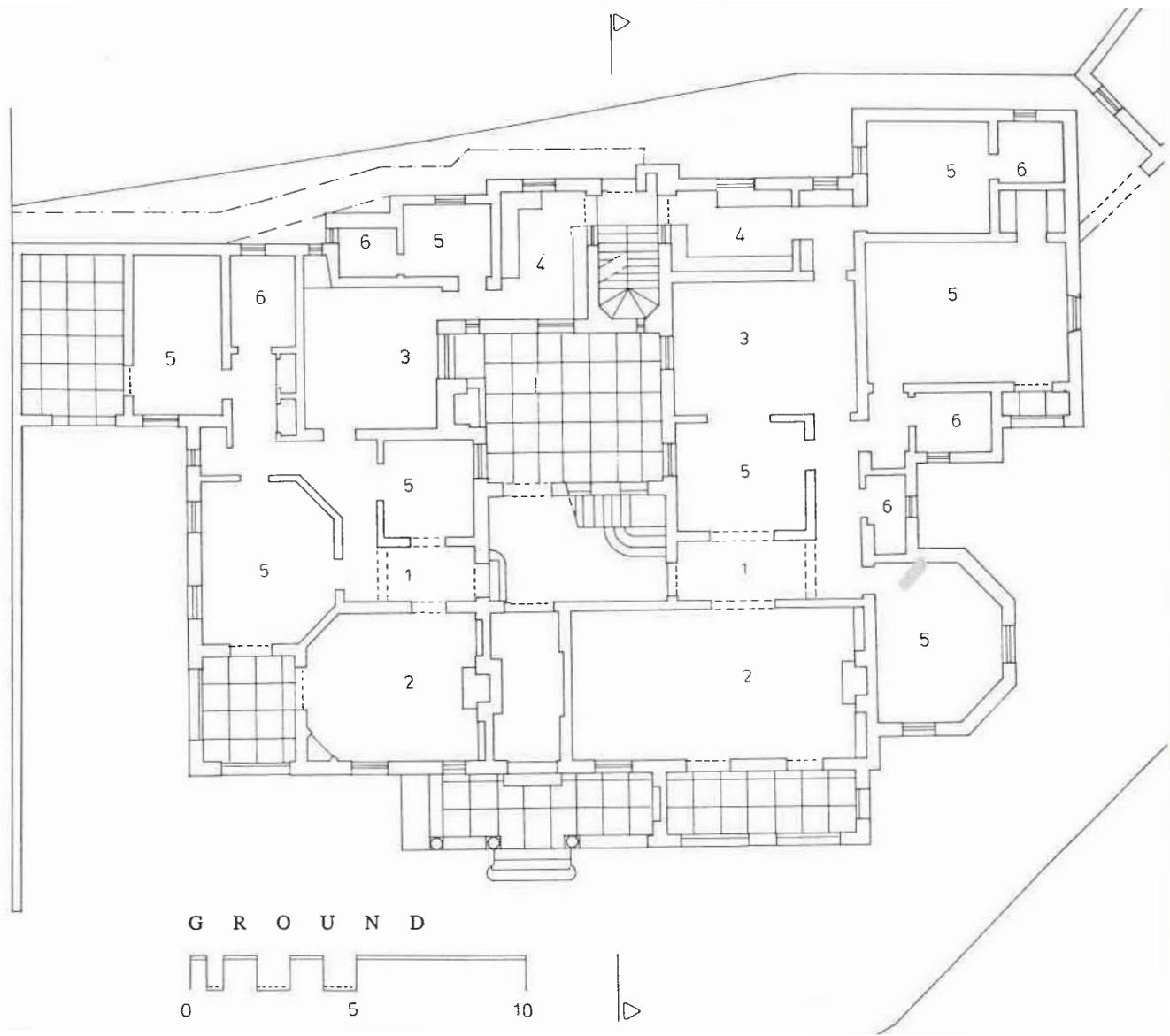
<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY LTD</div> <div>LEVEL 3, 68/72 Wentworth Ave Sydney NSW 2010 Australia T 02 9211 6276 F 02 9281 3171 E admin@hillthalis.com.au www.hillthalis.com.au Nominated Architects: Philip Thalis #6780 Sarah Hill #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalis and in any work executed from those documents and drawings shall remain the property of Hill Thalis or on creation vest in Hill Thalis</div>		REV	DATE	AMENDMENT	<div>PROJECT</div> <div>351-53 New South Head Rd Double Bay NSW 2028</div> <div>CLIENT</div> <div>Kingsford Property Developments</div>	DRAWING TITLE						
		A	20/3/19	Development Application Issue		Context Analysis						
						JOB NO	DRAWN	SCALE	DRAWING NO.			
						18.41	AR/BD	1:4000 @A3	DA 2.002			
								DATE	CHECKED	PLOT DATE	REVISION	
								Date		15/7/21	A	



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		A	20/3/19	Development Application Issue	351-53 New South Head Rd Double Bay NSW 2028	Site Analysis		
					CLIENT	JOB NO	DRAWN	SCALE
					Kingsford Property Developments	18.41	AR/BD	1:500 @ A3
						DATE	CHECKED	PLOT DATE
						Date		15/7/21
								REVISION
								A

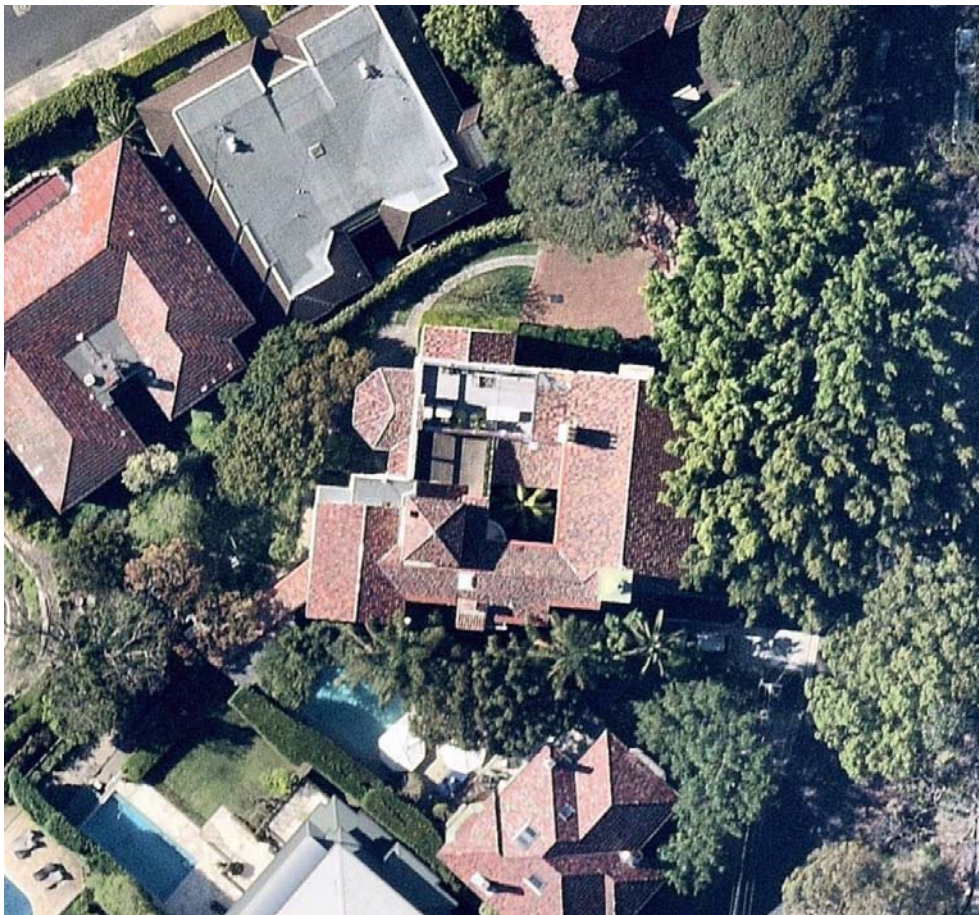


S E C T I O N



G R O U N D

N



source: neamap

A number of high quality precedents exist in the vicinity. Particular focus is given to the heritage listed 'Silchester Apartments' in Trahlee Road, Double Bay - designed by Leslie Wilkinson and completed in 1937.

The building is conceived around a central court and features two open-air stairs providing light and ventilation to common circulation, as well as vegetation and a high quality, experiential home-coming.

The presented drawings are sourced from the 1991 thesis of Camilla Block (Director, Durbach Bloch Jagers) and were produced from original plans held by the Mitchell Library.

The attached plan and section are scaled at 1:200 to accurately reference the plans and sections of this proposal.



source: hill thalis



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Nominated Architects: Philip Thalis #6780 Sarah Hill #5285

- Use figured dimensions only
- Do not scale
- Comply with the Building Code of Australia
- Comply with the relevant Australian Standards
- Comply with relevant Authority requirements

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REV	DATE	AMENDMENT
A	18/12/19	Revised Development Application

PROJECT
351-53 New South Head Rd Double Bay NSW 2028
CLIENT
Kingsford Property Developments

DRAWING TITLE			
Built Form Precedent			
JOB NO	DRAWN	SCALE	DRAWING NO.
18.41	BD	NTS	DA 2.005
DATE	CHECKED	PLOT DATE	REVISION
Date	PT	15/7/21	A



The site is situated to the south of a tight bend in New South Head Road's geometry as it curves from Edgecliffe down into Double Bay Town Centre.

The curved geometry of the road limits and closes views to the site from every direction, with the whole frontage of the site visible from a maximum of 180-190m (6) from the pedestrian crossing at Knox St.

Views are highly oblique (1,2,4,5).

A full and true elevation of the north facade is seen at the very south of Gum Tree Lane (3), across New South Head Road.

The base curve of New South Head Road is reinforced by an existing fig tree (8) - which is to be maintained.

The building's form is set back in response to both the street geomerty (7) and the retained tree, and decisively supports the arrival of New South Head Road into the Town Centre.

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		A	20/3/19	Development Application Issue		CLIENT Kingsford Property Developments	JOB NO	DRAWN	SCALE	DRAWING NO.
							18.41	AR/BD	1:1000 @ A3	DA 2.006
						DATE	CHECKED	PLOT DATE	REVISION	
						Date	PT	15/7/21	A	

Site Area: 1233m²
FSR_{MAX} 1:1
HOB 10.5m

private driveway to 349 New South Head Road

BOUNDARY 43045 from survey BLDG DEPTH = 60% SITE DEPTH = 25830

um Side setback line

existing building
shown dashed

existing building
shown dashed

12m building separation required by ADG

3m minimum rear setback/line

BOUNDARY40410 from survey

3A
3-storey
brick apartments

BOUNDARY 30920 from survey

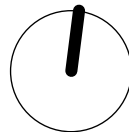
Diagram illustrating the relationship between building depth and site depth:

- BLDG DEPTH = 60% SITE DEPTH = 18550
- 12000

355
3-storey
brick apartments

3
3-storey
brick apartments

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REV	DATE	AMENDMENT
A	20/3/19	Development Application Issue
B	16/10/19	Council Clarification

PROJECT
351-53 New South Head Rd
Double Bay NSW 2028


CLIENT
Kingsford Property Developments


DRAWING TITLE				Site Controls	
JOB NO	DRAWN	SCALE	DRAWING NO.		
18.41	AR/ BD	1:200 @ A3	DA 2.007		
DATE	CHECKED	PLOT DATE	REVISION		
Date	PT	15/7/21	B		

Controls:
Site Area: 1233m²
FSR_{MAX} 1:1
HOB 10.5m

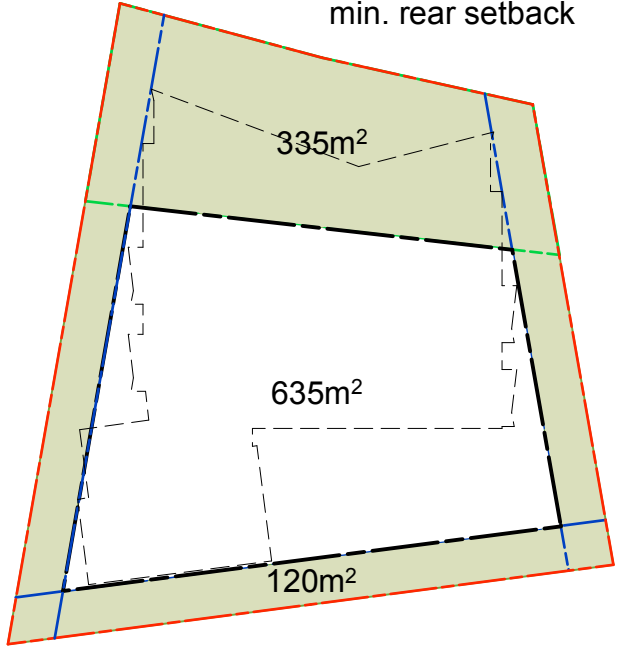
DCP controls:
Buildable Area: 580 - 635m²
Required Deep Soil Area: 294 - 322m²
(23.8 - 26.1%)

Proposed Buildable Area: **581m²**
Proposed Deep Soil Area: **428m² = 34.7%**

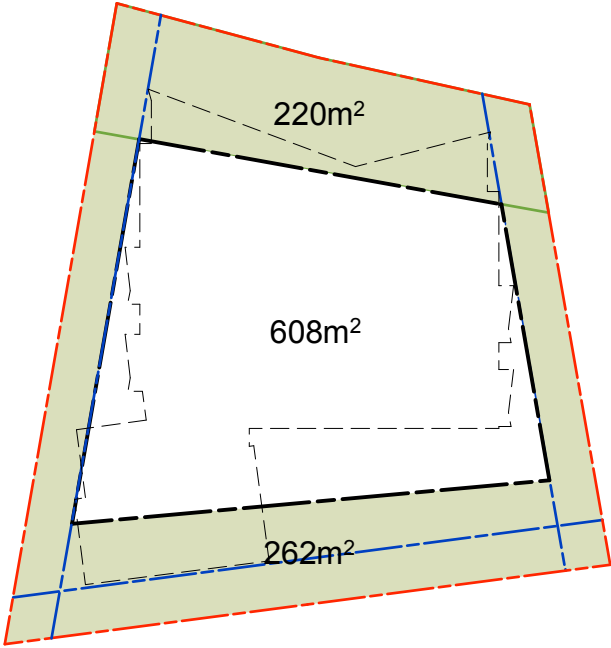
 Deep Soil Area
(as per Council requirement)

 Deep Soil Area width ≥ 3m
(as per ADG definition)

Potential siting: max. front setback
min. rear setback

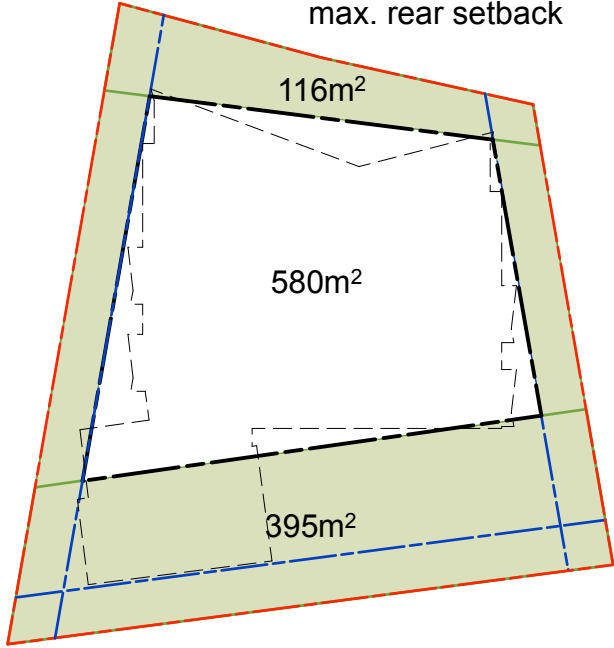


Buildable Area **635m²**
Proposed Buildable Area **581m² (+54m²)**
Deep Soil Area 50% of 588m² = **294m²**
Front Deep Soil Area 40% of 335m² = 134m²
Rear Deep Soil Area 50% of 120m² = 60m²



Buildable Area **608m²**
Proposed Buildable Area **581m² (+27m²)**
Deep Soil Area 50% of 616m² = **308m²**
Front Deep Soil Area 40% of 220m² = 88m²
Rear Deep Soil Area 50% of 262m² = 131m²

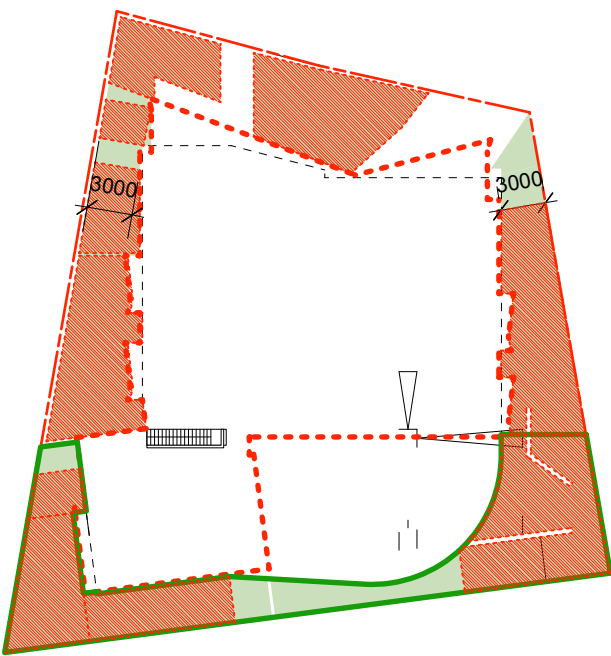
Potential siting: min. front setback
max. rear setback



Buildable Area **580m²**
Proposed Buildable Area **581m² (-1m²)**
Deep Soil Area 50% of 644m² = **322m²**
Front Deep Soil Area 40% of 116m² = 46m²
Rear Deep Soil Area 50% of 395m² = 198m²




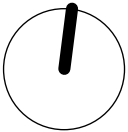
Existing Deep Soil Area = **247m²**



Proposed Deep Soil Area = **421m²**
Proposed Landscaped Area = **421m²**
Front Deep Soil Area = **80m²**
Rear Deep Soil Area = **186m²**

Areas updated

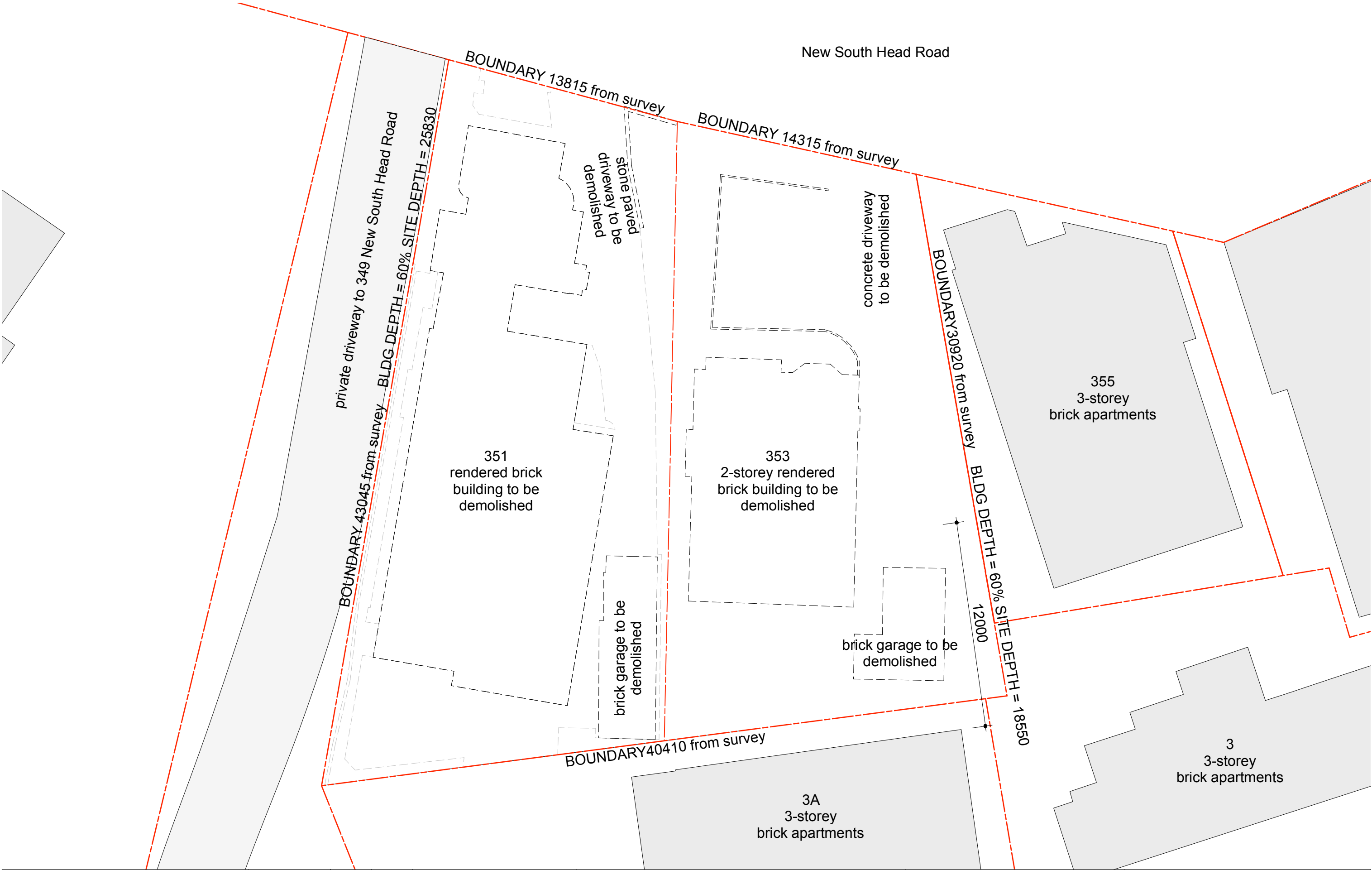
 **375.4m²** Deep Soil Area with a min. width ≥ 3m
(as per ADG deep soil definition)
= **30.4%** of the site area of 1233m²
ADG requirement 7% of the site area = **84m²**
— Rear Deep Soil Area = **186m²**



REV	DATE	AMENDMENT
A	20/3/19	Development Application Issue
B	16/10/19	Clarification for Council
C	26/11/19	Revised Development Application
D	28/5/21	Issued for Section 34 conference
E	14/7/21	Section 34 Agreement

PROJECT	351-53 New South Head Rd Double Bay NSW 2028
CLIENT	Kingsford Property Developments

DRAWING TITLE Deep Soil Analysis			
JOB NO	DRAWN	SCALE	DRAWING NO.
18.41	AR/BD	1:500 @ A3	DA 2.008
DATE	CHECKED	PLOT DATE	REVISION
Date	PT	14/7/21	E



ARCHITECTS:

hill thalis

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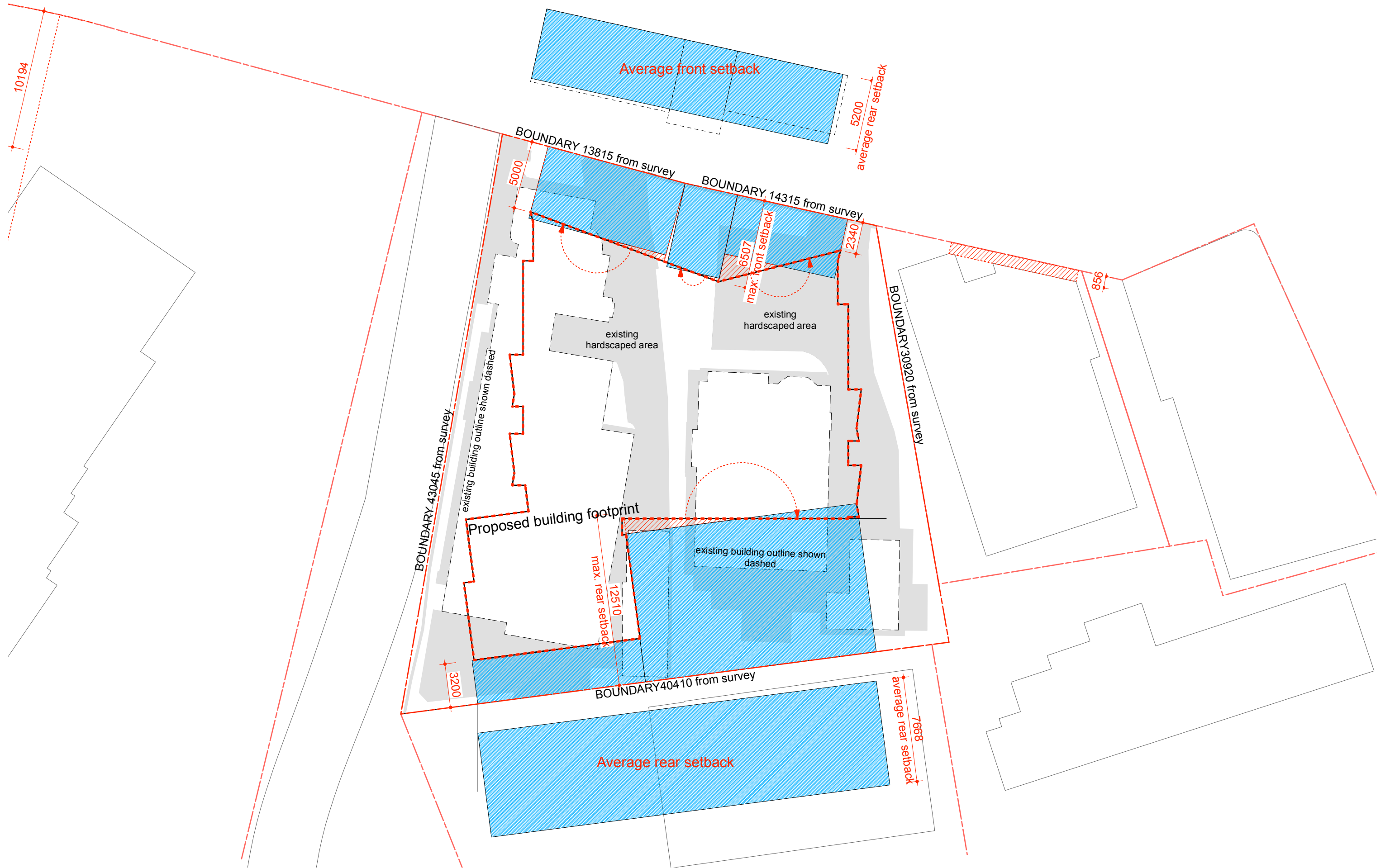
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REV	DATE	AMENDMENT
A	20/3/19	Development Application Issue

PROJECT			
351-53 New South Head Rd Double Bay NSW 2028			
CLIENT			
Kingsford Property Developments			

DRAWING TITLE			
Demolition Plan			
JOB NO.	DRAWN	SCALE	DRAWING NO.
18.41	AR/ BD	1:200 @ A3	DA 2.009
DATE	CHECKED	PLOT DATE	REVISION
Date	PT	15/7/21	A



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		A	22/3/21	Additional information for Council meeting		Setback drawing			DRAWING NO.
		B	24/5/21	Issued for Section 34 conference		18.41	AR/ BD	1:200 @ A3	DA 2.010
		C	14/7/21	Section 34 Agreement		DATE	CHECKED	PLOT DATE	REVISION
								Date	PT



Legend:
Proposed building footprint
Proposed basement

- TPZ
- SRZ
- SRZ(as previously shown)
- Canopy
- Tree to be removed
- Existing building/ hardscaped area
- Existing deep soil area

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		A	24/5/21	Drawing added for Section 34 conference		JOB NO	DRAWN	SCALE	DRAWING NO.
		B	14/7/21	Section 34 Agreement		18.41	AR/ BD	1:250 @ A3	DA 2.012
						DATE	CHECKED	PLOT DATE	REVISION
		CLIENT Kingsford Property Developments						Date	PT

Site Area: 1233m²
FSR_{MAX} 1:1
HOB 10.5m

GFA	
GF	214.4 m ²
L1 +	387.4 m ²
L2 +	387.4 m ²
L3 +	387.4 m ²
L4 +	171.3 m ²
GFA_{TOTAL}	= 1547.9 m²

Maximum additional FSR under the SEPP ARH **0.5 : 1**
Proposed additional FSR under the SEPP ARH **0.255 : 1 = Y**

Required affordable rental housing GFA
 AH = 1547.9m² x 25.5% = **394.7m²**

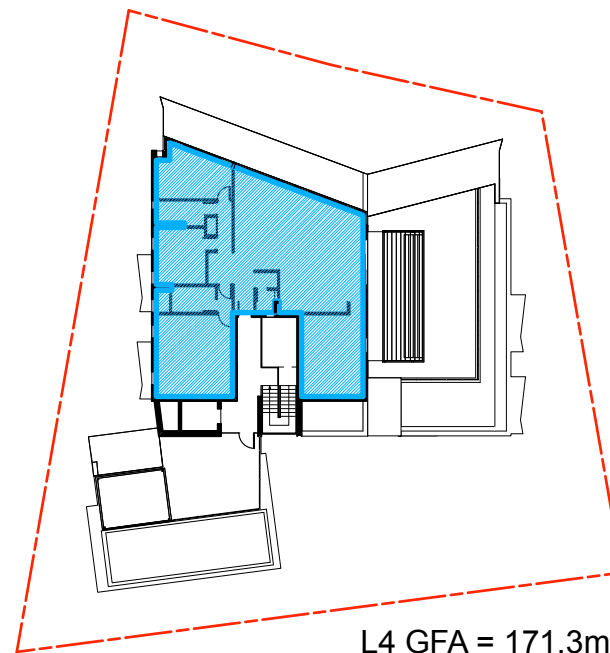
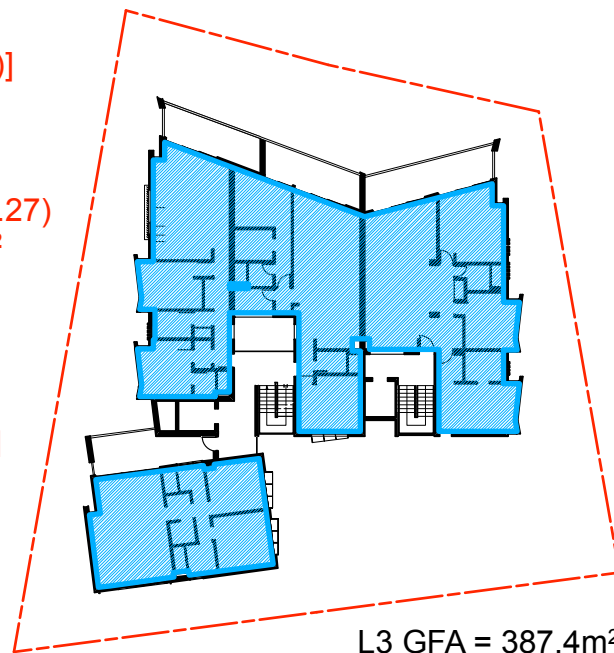
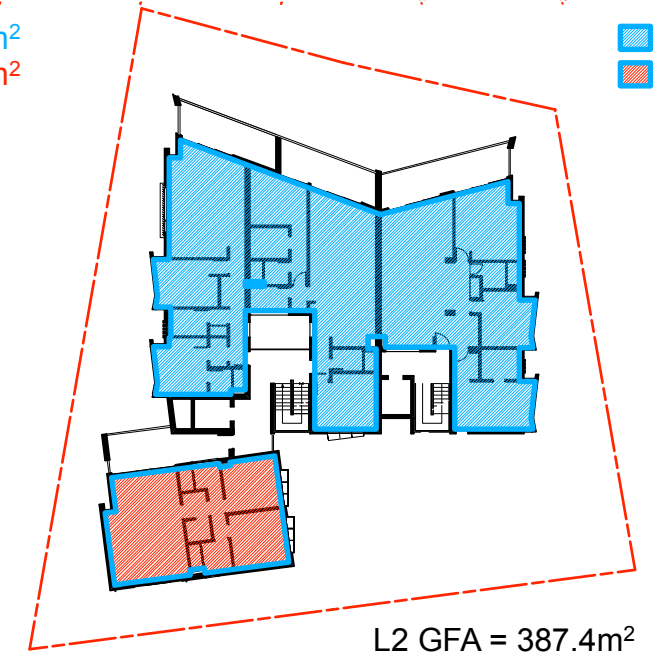
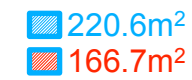
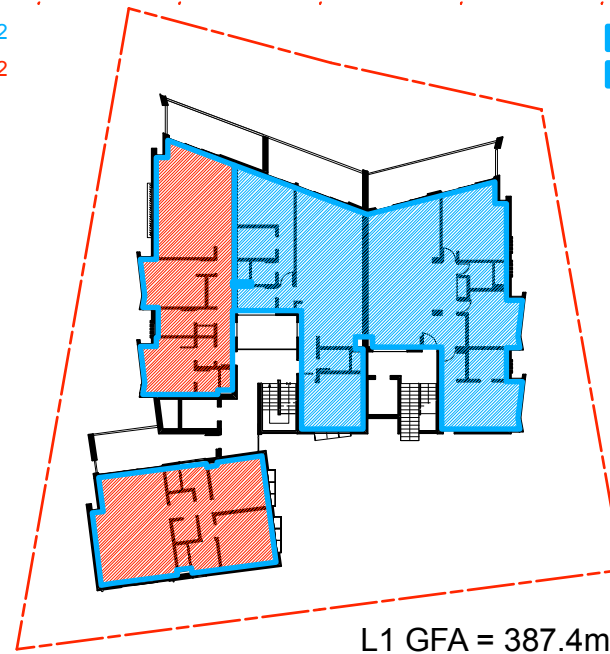
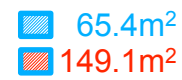
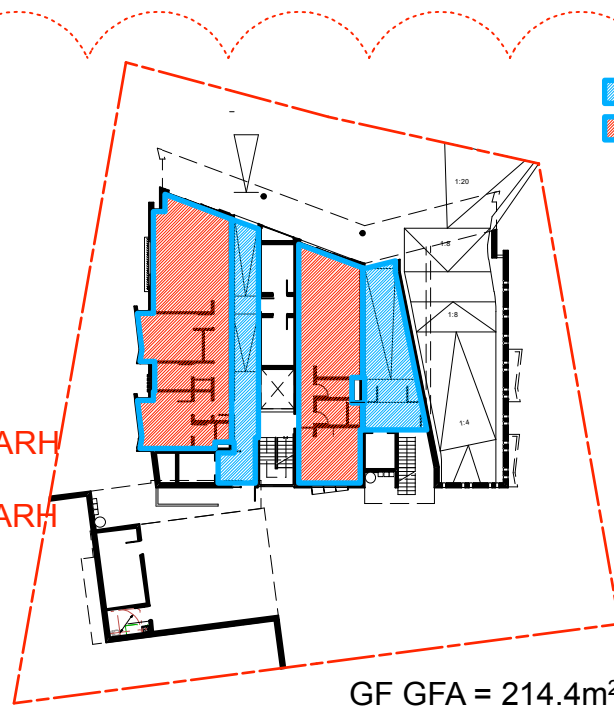
GF 149.1m²
L1 + 166.7m²
L2 + 79.9m²
+ 13.0m² [31.1m²/12(units) x 5(units)]
(proportion of common circulation)

AH = 408.7m²

Affordable rental housing	FSR = 0.33:1 (0.27)
Non-affordable housing	GFA = 1139.2m²
Non-affordable housing	FSR = 0.92:1

Amendments:
Modification of calculations and
GFA dedication for affordable rental
housing purposes

Note:
Units hatched in red dedicated to Council
for affordable rental housing purposes



Note:
Units hatched in red dedicated to Council
for affordable rental housing purposes

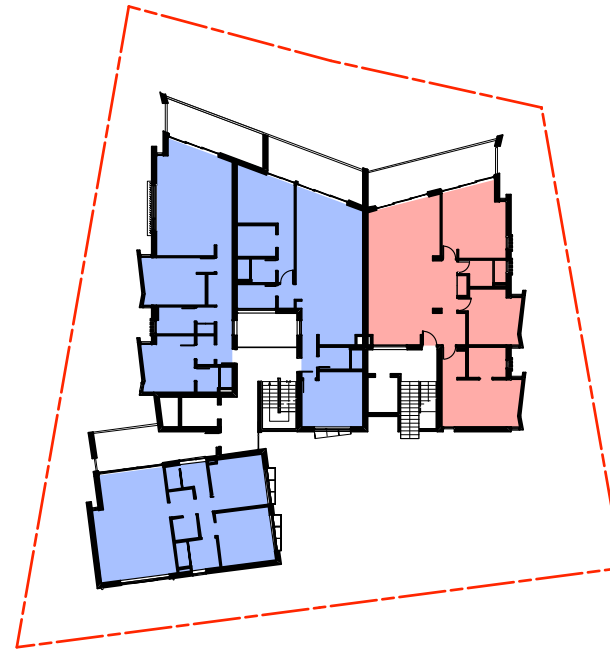
Apartment Mix:

1-bedroom Apxartment	1
2-bedroom Apartment	10
3-bedroom Apartment	4
TOTAL	15

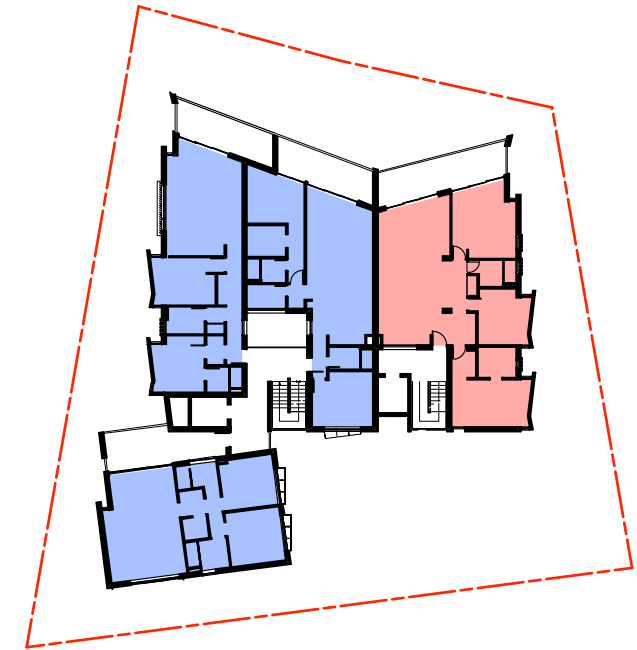
Amendments:
Unit mix modified;



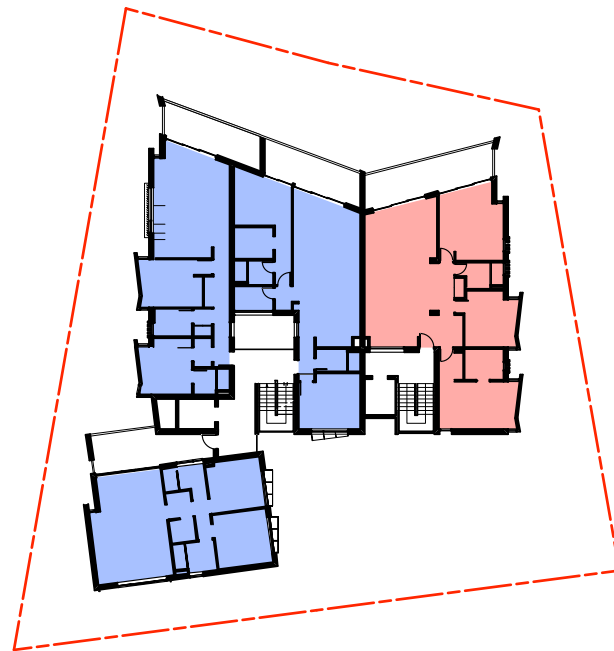
GF



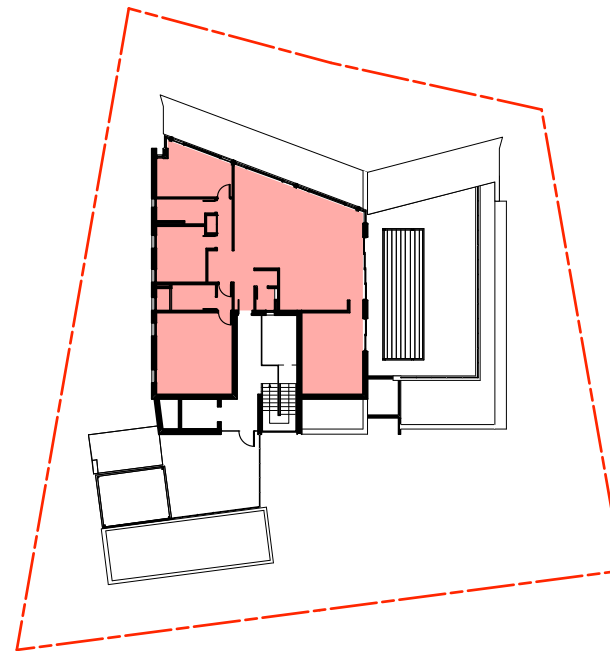
L1



L2



L3

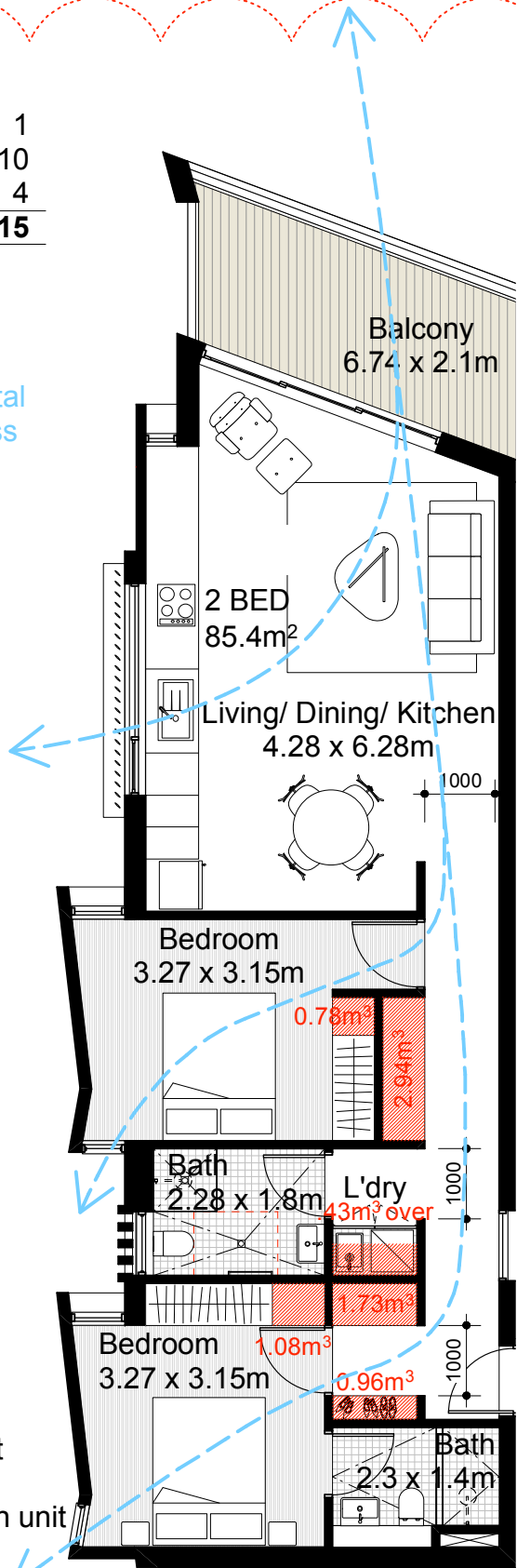


L4

Apartment Mix:

1-bedroom Apartment	1
2-bedroom Apartment	10
3-bedroom Apartment	4
TOTAL	15

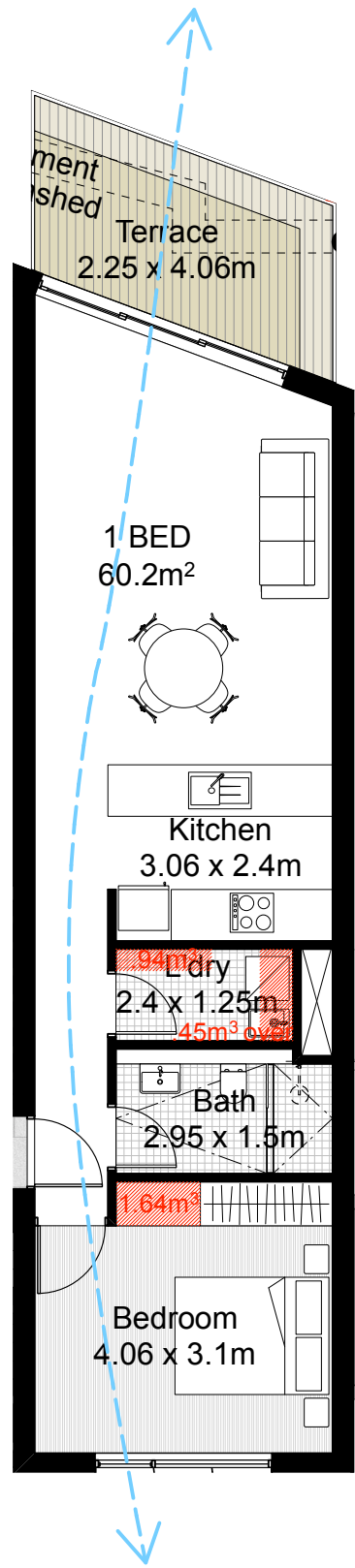
15 apartments out of a total of 15 apartments are cross ventilated = 100%



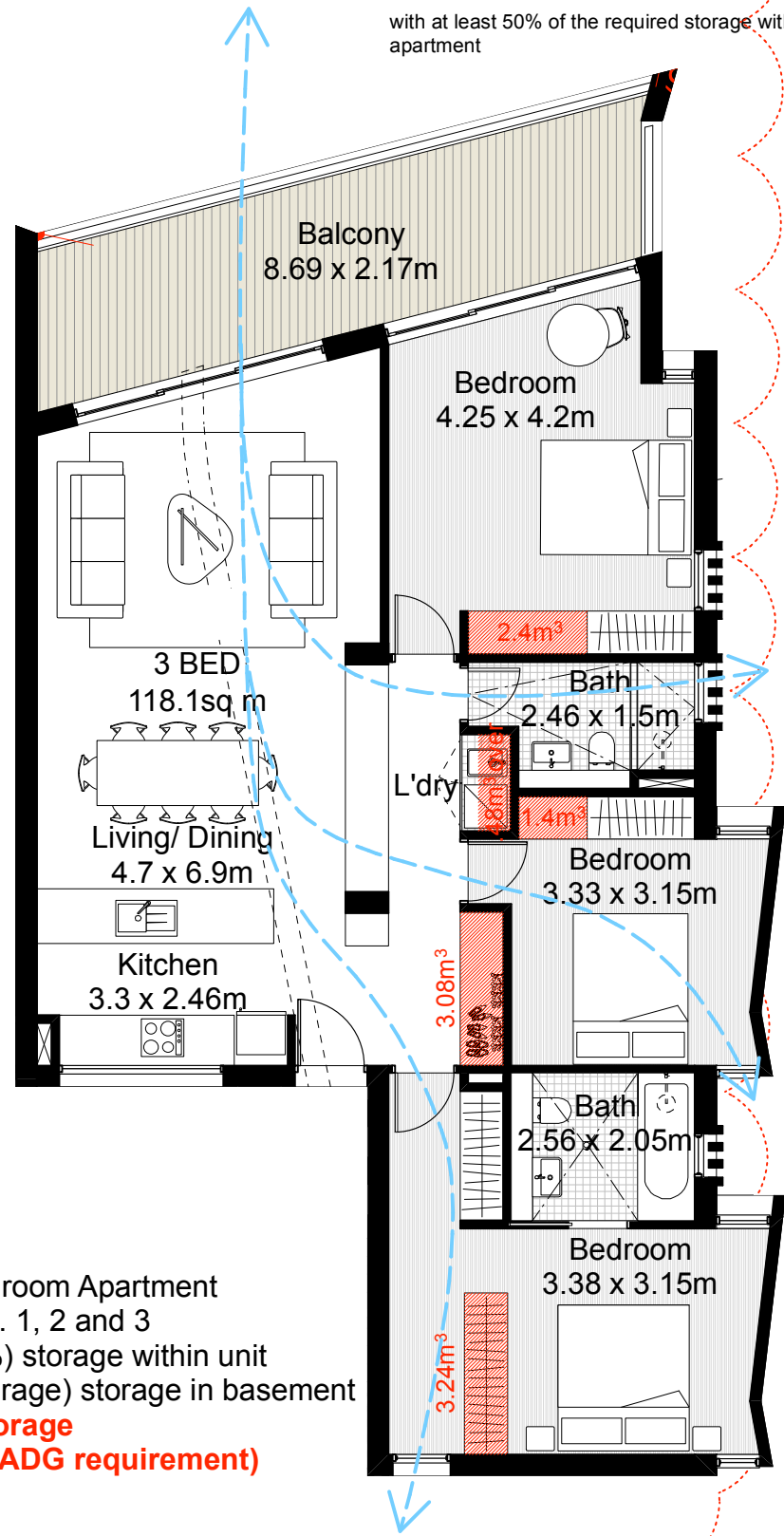
Levels G - L3, Silver Level,
4 x Two Bedroom Apartment
Apartment No. 4, 7, 10, 13
7.9m³ (98.8%) storage within unit
+ 4.4m³ in basement
= 11.8m³ Storage
(153.8% of the ADG requirement)

--- Air Circulation --->
 Storage,
included into the calculation

Levels GF
1 x One Bedroom Apartment
Apartment No. 5
3.03m³ (50%) storage within unit
+ 4.4m³ in basement
= 7.4 m³ Storage
(123.3% of the ADG requirement)



Levels L1 - 3,
3 x Three Bedroom Apartment
Apartment No. 1, 2 and 3
10.6m³ (106%) storage within unit
+ 6.46m³ (average) storage in basement
= 17.06m³ Storage
(170% of the ADG requirement)



ADG storage requirements:
6m³ - 1 Bedroom Apartment
8m³ - 2 Bedroom Apartment
10m³ - 3 Bedroom Apartment
with at least 50% of the required storage within apartment

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		A	20/3/19	Development Application Issue	351-53 New South Head Rd Double Bay NSW 2028	Apartment Types			
		B	16/10/19	Clarification for Council		JOB NO	DRAWN	SCALE	DRAWING NO.
		C	26/11/19	Revised Development Application		18.41	AR/BD	1:100 @ A3	DA 2.022
		D	14/7/21	Section 34 Agreement		CLIENT	DATE	CHECKED	PLOT DATE
					Kingsford Property Developments	Sept. 18	PT	14/7/21	D

ADG storage requirements:

6m³ - 1 Bedroom Apartment

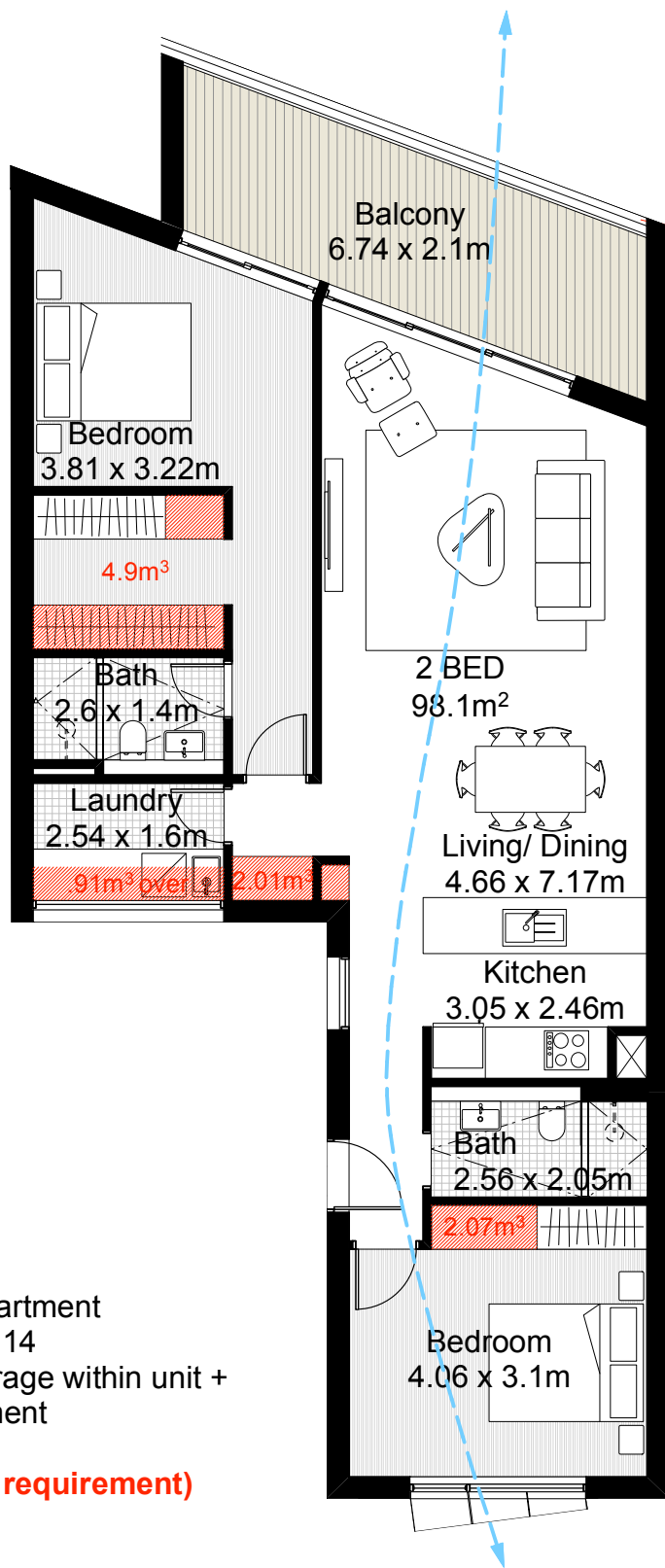
8m³ - 2 Bedroom Apartment

10m³ - 3 Bedroom Apartment

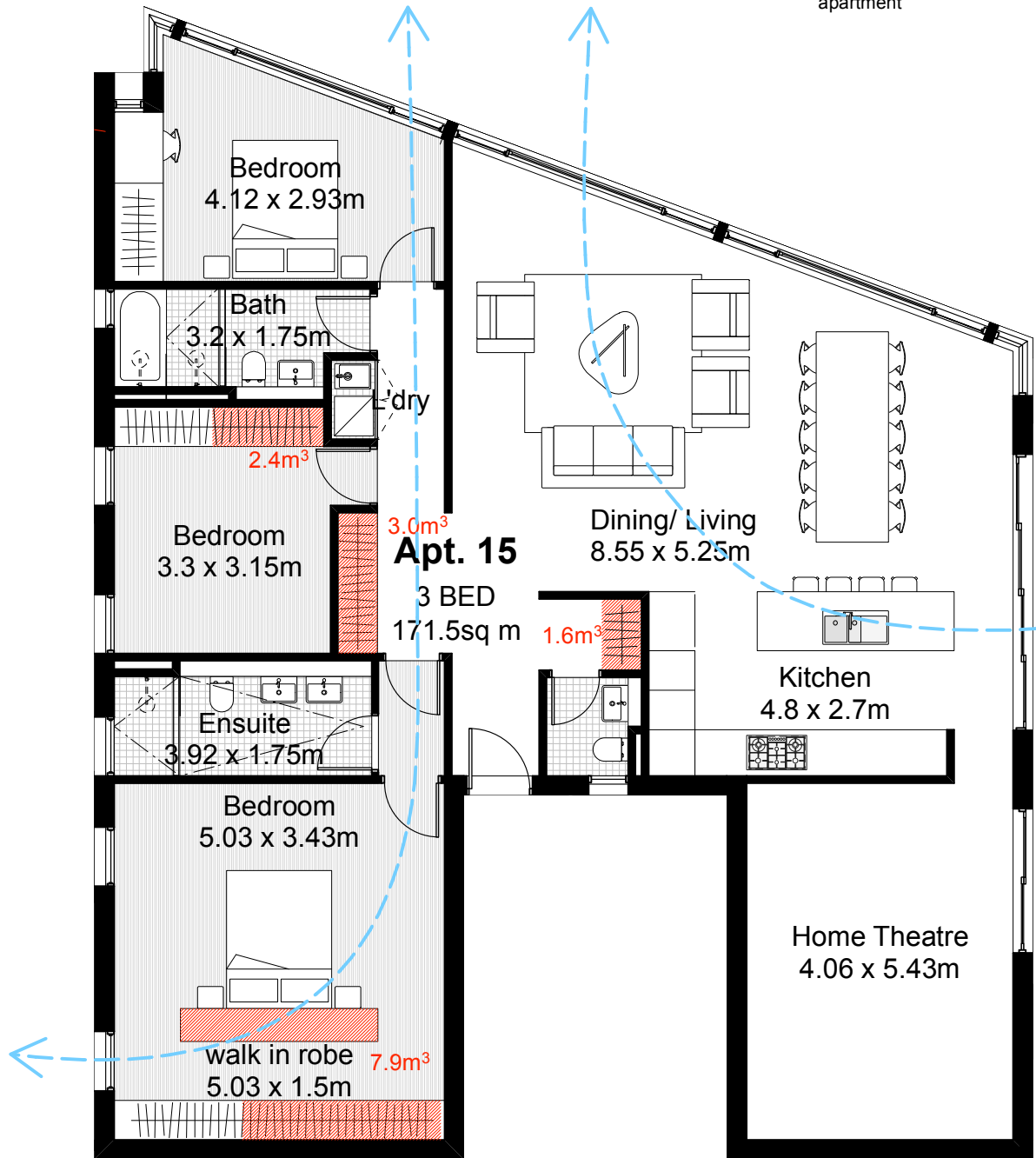
with at least 50% of the required storage within apartment

Air Circulation →

Storage,
included into the calculation



Level 4,
1 x 3 Bedroom Apartment
Apartment No. 15
14.9m³ (149%) storage within unit
+ 5.2m³(min.) in basement
= 20.1m³ Storage
(201% of the ADG requirement)

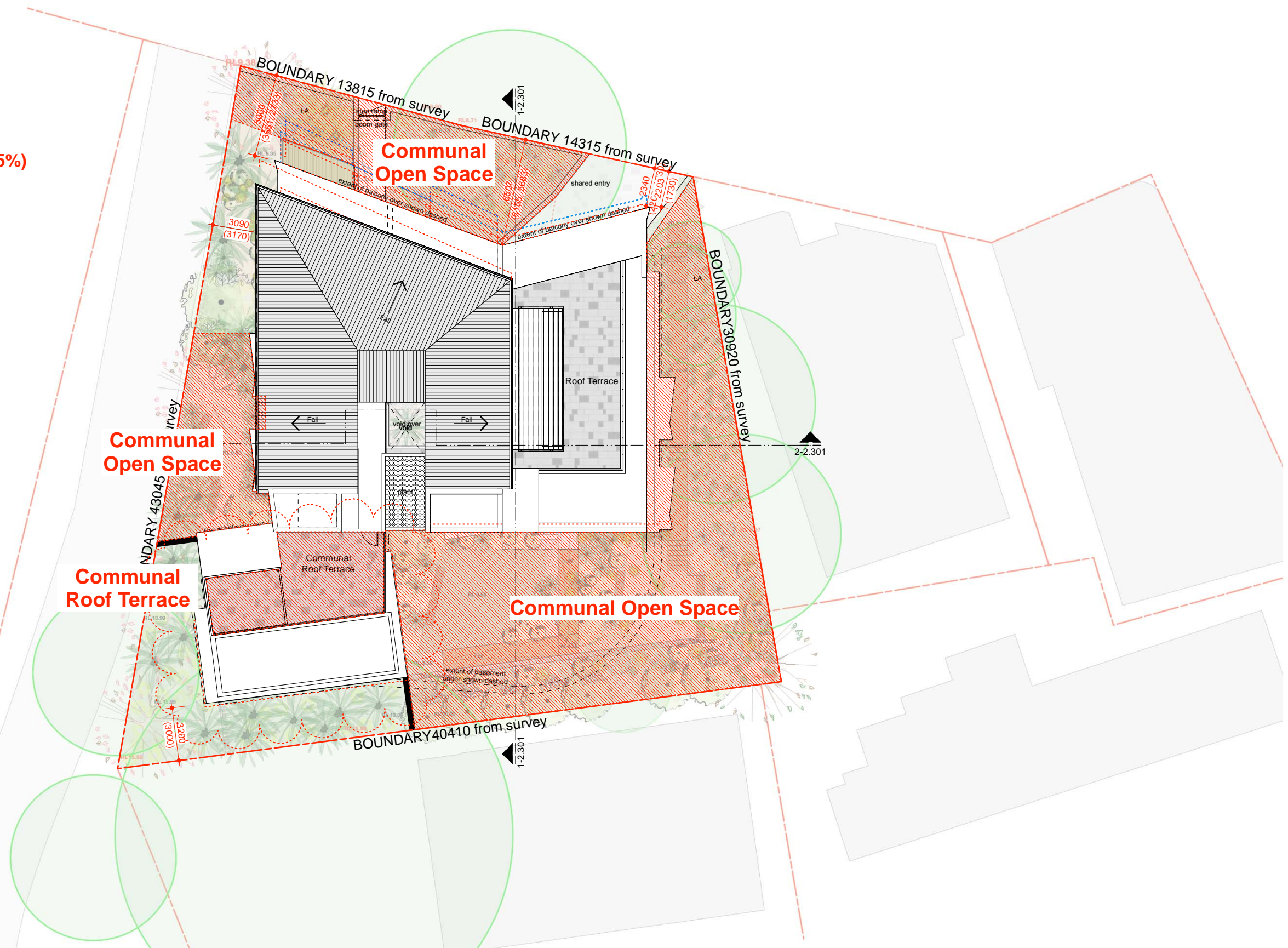


<div>ARCHITECTS:</div> <div><div>hill thalis</div><div>ARCHITECTURE + URBAN PROJECTS PTY LTD</div><div><div><div>LEVEL 3, 68-72 Wentworth Ave</div><div>Sydney NSW 2010 Australia</div><div>T 02 9211 4274 F 02 9281 3171</div><div>E admin@hillthalis.com.au www.hillthalis.com.au</div><div>Nominated Architects: Philip Thalis #6780 Sarah Hill #5285</div></div></div><div><div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div><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ADG requirement 25% of 1233m² = 308m²

All areas included in the below calculation have a minimum depth of 3m.

North	= 100.3m ²
South + East	= 329.2m ²
West	= 59.2m ²
Roof Terrace	= 48.1m ²
TOTAL	= 536.7m² (43.5%)



ARCHITECTS:

hill thalis

ARCHITECTURE + URBAN DESIGN PTY LTD

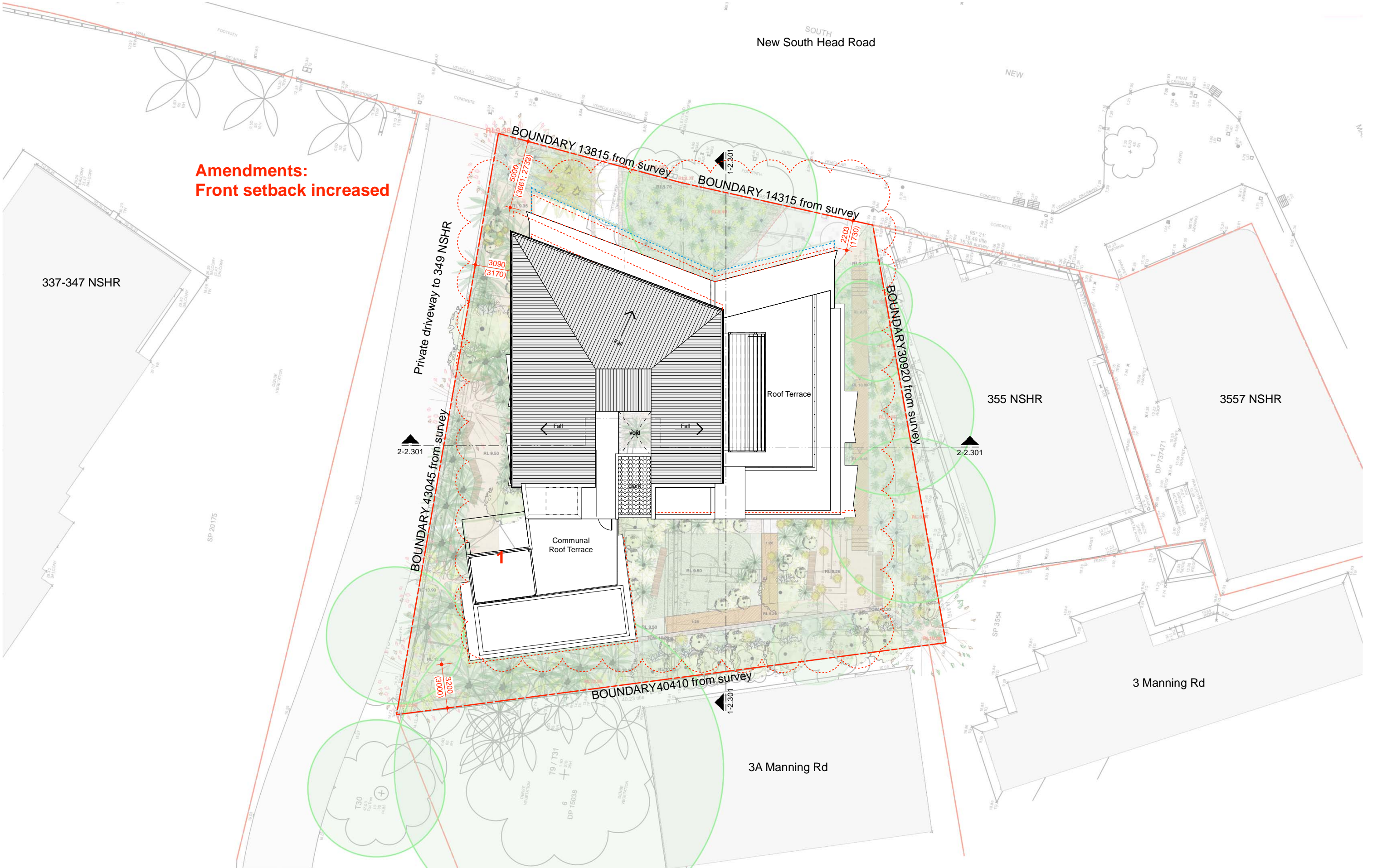
LVL 5, 68-72 Westworth Ave
Surrey Hills VIC 3129 Australia
T 02 9211 6276 F 02 9281 3171
E admin@hillthalis.com.au
Nominated Architects: Philip Thalys #3780 Sarah Hill #5285

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REV	DATE	AMENDMENT
A	16/10/19	Clarification for Council
B	26/11/19	Revised Development Application
C	24/4/20	Revised Development Application
D	28/5/21	Issued for Section 34 conference
E	14/7/21	Section 34 Agreement

PROJECT			
351-53 New South Head Rd			
Double Bay NSW 2028			
CLIENT			
Kingsford Property Developments			

DRAWING TITLE			
Communal Open Space			
JOB NO	DRAWN	SCALE	DRAWING NO.
18.41	AR/BD	1:250 @ A3	DA 2.026
DATE	CHECKED	PLOT DATE	REVISION
Sept. 18 PT		14/7/21	E



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		A	20/3/19	Development Application Issue		<div>JOB NO</div> <div>18.41</div>	<div>DRAWN</div> <div>AR/BD</div>	<div>SCALE</div> <div>1:250 @ A3</div>	<div>DRAWING NO.</div> <div>DA 2.100</div>		
		B	26/11/19	Revised Development Application							
		C	4/6/20	Revised Development Application							
		D	14/7/21	Section 34 Agreement							
							<div>DATE</div> <div>Sept. 18</div>	<div>CHECKED</div> <div>PT</div>	<div>PLOT DATE</div> <div>14/7/21</div>	<div>REVISION</div> <div>D</div>	


Proposed Car Spaces:

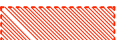
14 spaces (incl. 2 disabled spot)
+3 stacked spaces (TBC)
17

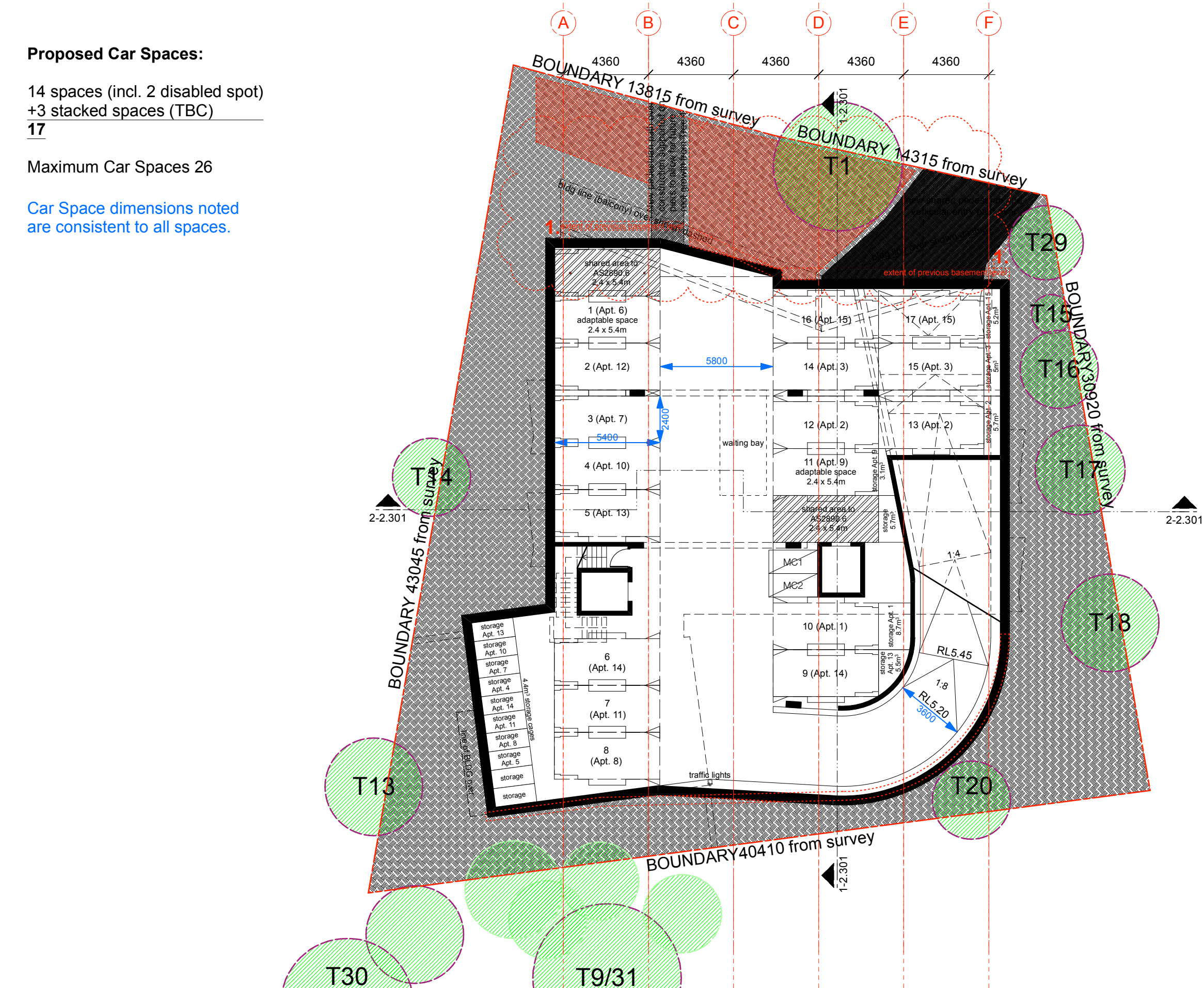
Maximum Car Spaces 26

Car Space dimensions noted
are consistent to all spaces.

Note:
1. Front setback increased

 SRZ

 potential 80m² deep soil area for tree T1



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		A	20/3/19	Development Application Issue		JOB NO	DRAWN	SCALE	DRAWING NO.
		B	4/7/19	Clarification for Council		18.41	AR/BD	1:200 @ A3	DA 2.101
		C	22/3/21	Revised for Council meeting		DATE	CHECKED	PLOT DATE	REVISION
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		E	18/6/21	Section 34 conference progress update					
		F	14/7/21	Section 34 Agreement					

YIELD/ UNIT MIX

	1BED	2BED	3BED
GF	1	1	-
L1	-	3	1
L2	-	3	1
L3	-	3	1
L4	-	-	1
	1	10	4

NatHERS Specification Summary

- Floor slabs: - Concrete.

- R0.5 floor insulation to units 1, 2, 6, 7 & 9

- R1.0 floor insulation to unit 5.
- Exterior walls:

- Cavity brick – aircell insulation (R1.24). Or, wall system of R1.60 rating.

- Lightweight clad wall with foil + R1.2 batts in cavity to plasterboard lining, or wall system reaching a total R-value (R1.89). As per stamped plans.

- All external wall materials modelled with default medium colour finishes.

- “Exterior walls” = All unit walls that are not party walls to other units.
- Glazing:

High solar gain Low-E glass:

- To unit 18 kitchen, living & dining.

- Type A (U-Value: 5.4, SHGC: 0.49).

- Type B (U-Value: 5.4, SHGC: 0.58).
- Single clear glass, with aluminium framing modelled:**

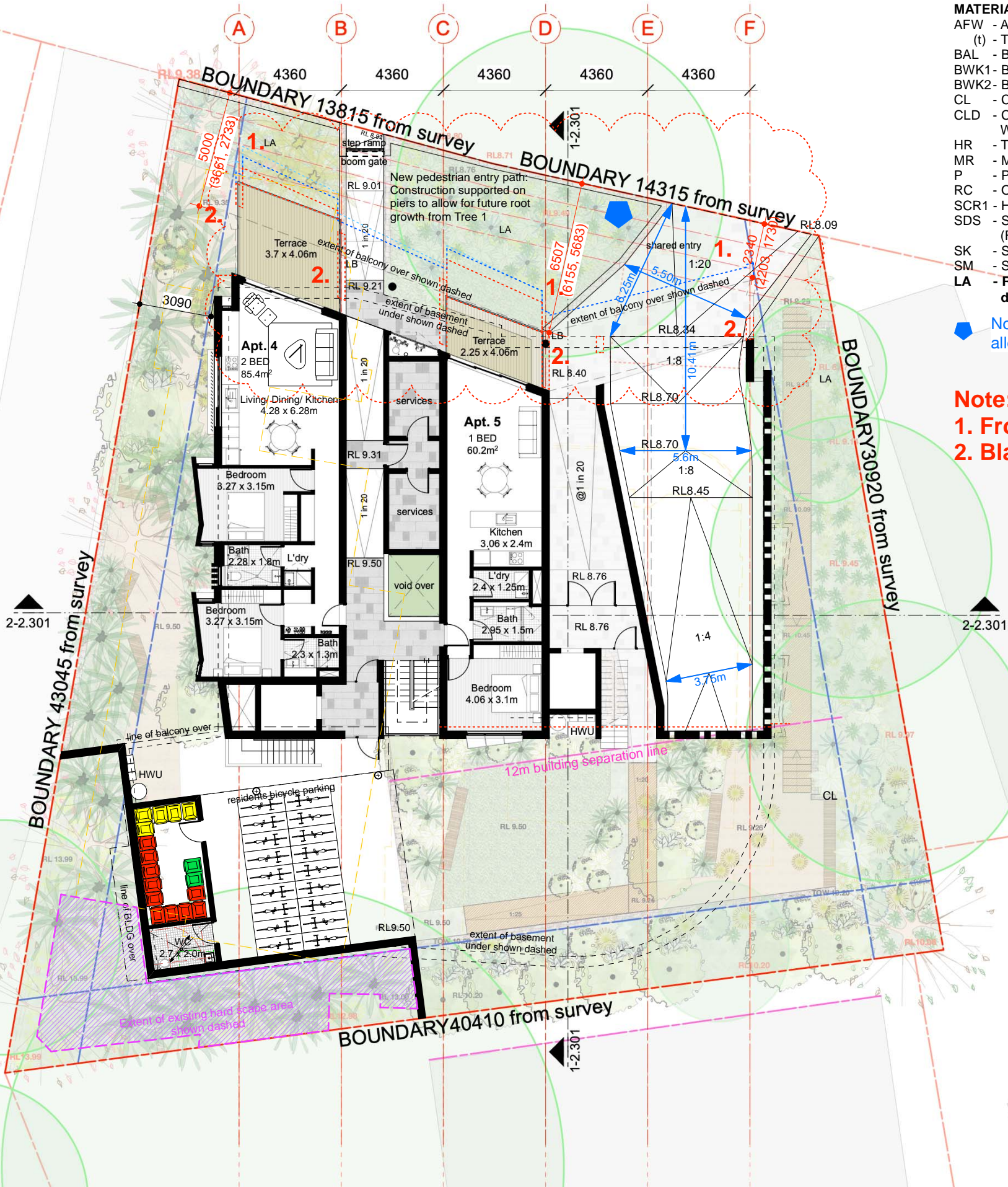
- To remainder of unit glazing.

- Type A (U-Value: 6.7, SHGC: 0.57).

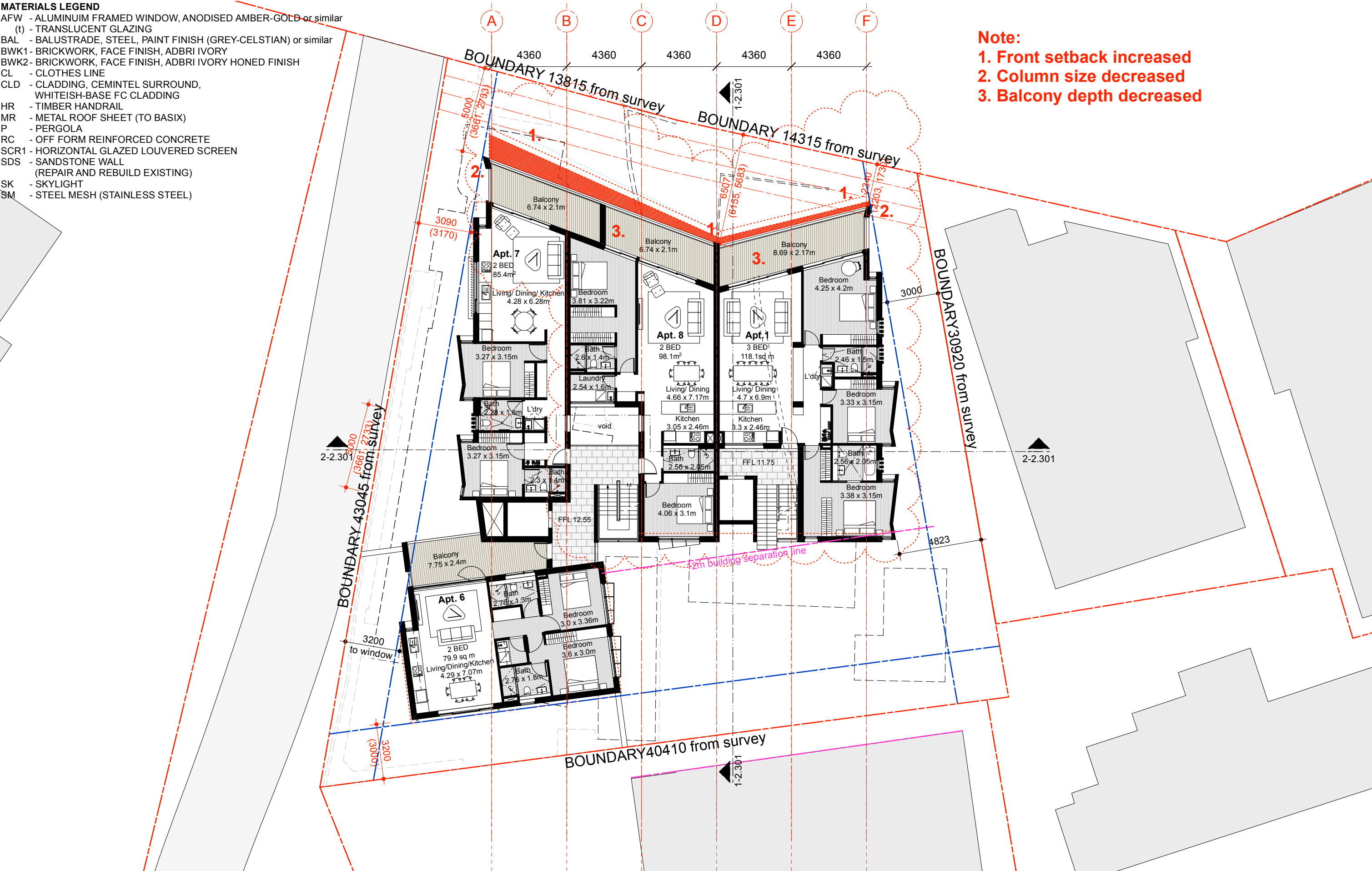
- Type B (U-Value: 6.7, SHGC: 0.70).
- U-Value & SHGC are combined glass and frame figures.**
- Ceiling:

- R2.5 ceiling insulation to all ceilings to metal & concrete roofs.

- Modelled with sealed: LED downlights & wet area exhaust fans.
- Roof:- Metal roof (with foil under) modelled with default medium colour finishes.
- Please refer to NatHERS individual certificates no. 003718707 for further details.

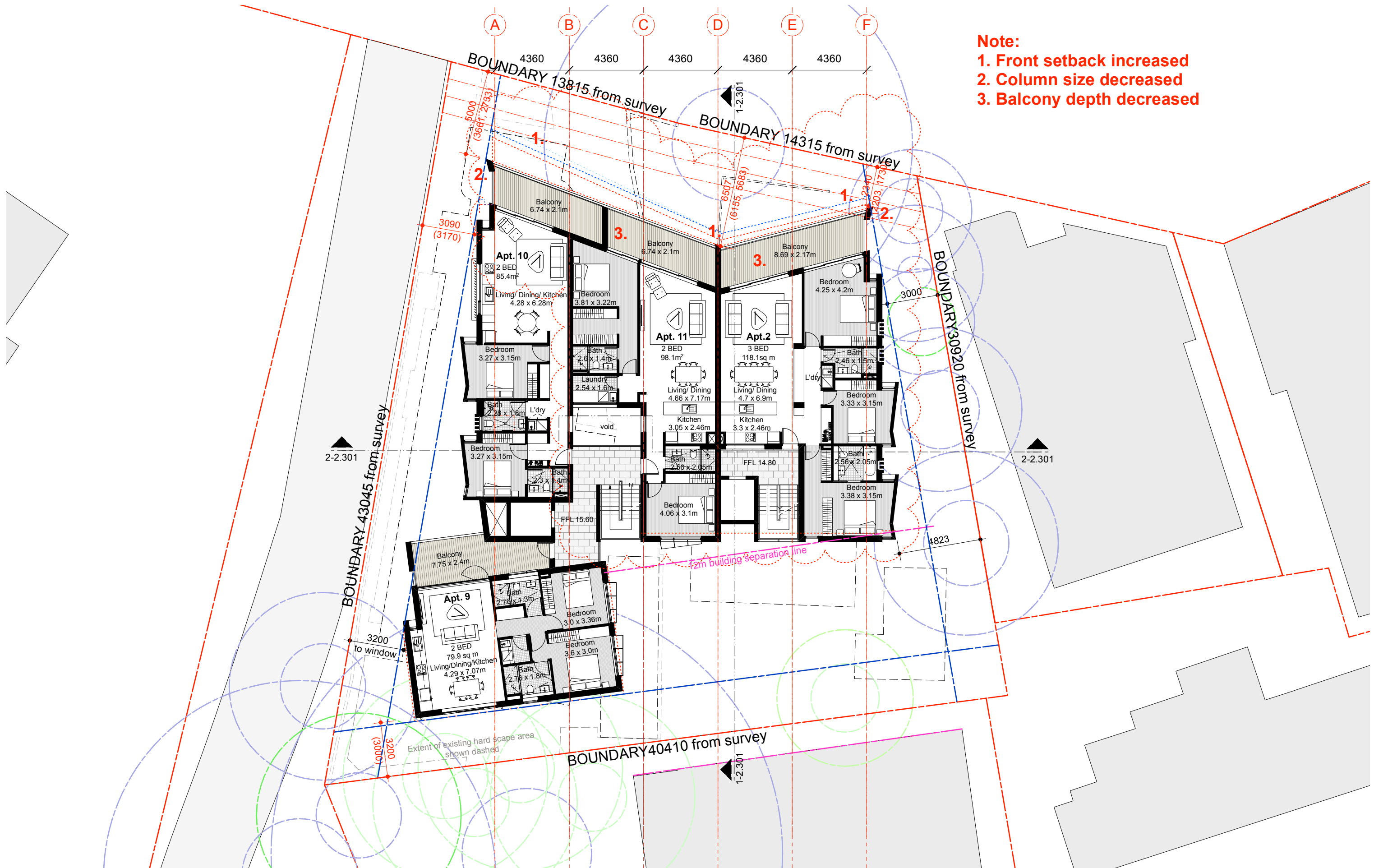


- MATERIALS LEGEND**
- AFW - ALUMINIUM FRAMED WINDOW, ANODISED AMBER-GOLD or similar
 - (t) - TRANSLUCENT GLAZING
 - BAL - BALUSTRADE, STEEL, PAINT FINISH (GREY-CELSTIAN) or similar
 - BWK1- BRICKWORK, FACE FINISH, ADBRI IVORY
 - BWK2- BRICKWORK, FACE FINISH, ADBRI IVORY HONED FINISH
 - CL - CLOTHES LINE
 - CLD - CLADDING, CEMINTEL SURROUND, WHITEISH-BASE FC CLADDING
 - HR - TIMBER HANDRAIL
 - MR - METAL ROOF SHEET (TO BASIX)
 - P - PERGOLA
 - RC - OFF FORM REINFORCED CONCRETE
 - SCR1 - HORIZONTAL GLAZED LOUVERED SCREEN
 - SDS - SANDSTONE WALL (REPAIR AND REBUILD EXISTING)
 - SK - SKYLIGHT
 - SM - STEEL MESH (STAINLESS STEEL)

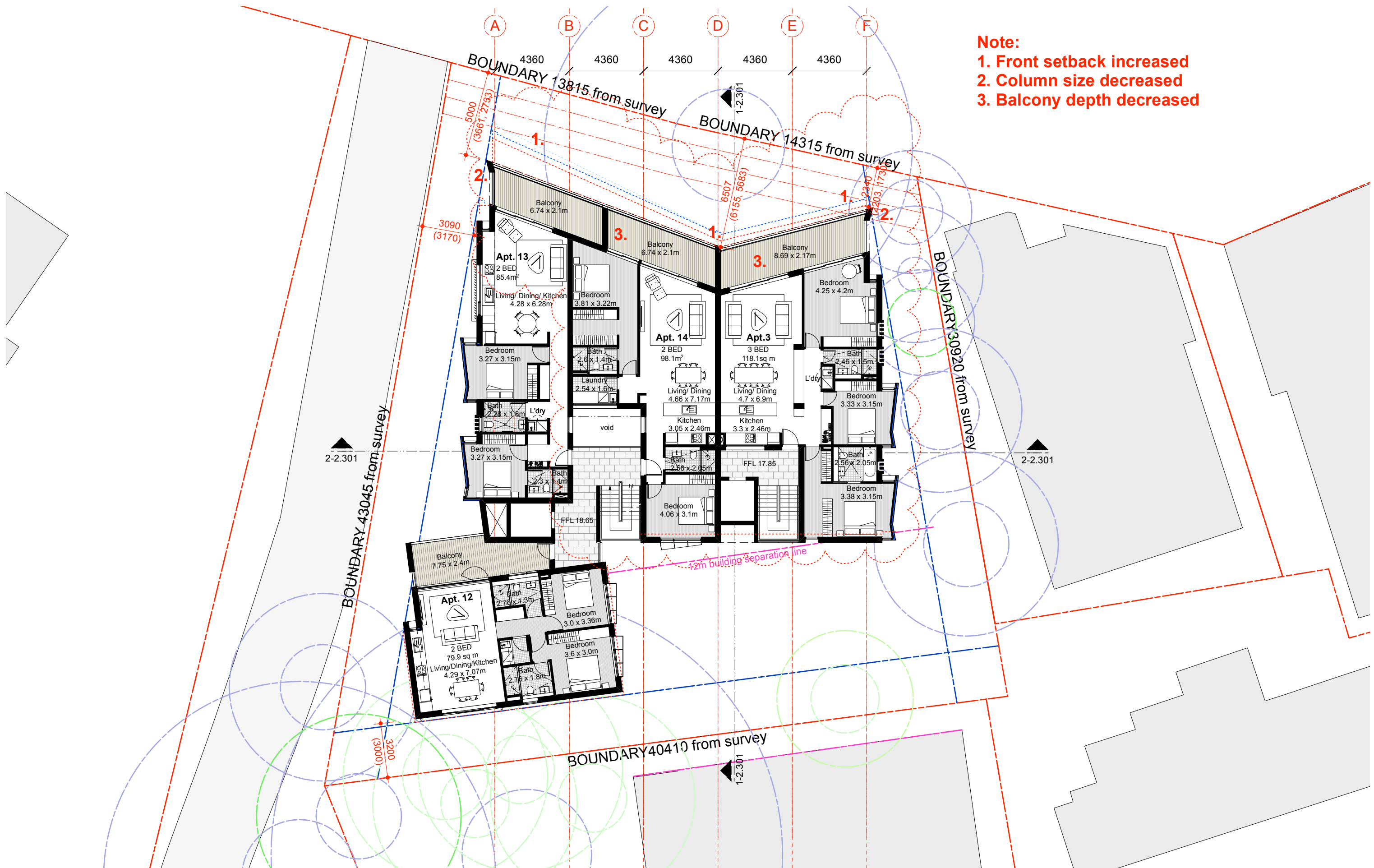


Note:
1. Front setback increased
2. Column size decreased
3. Balcony depth decreased

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		JOB NO 18.41		DRAWN AR/BD		SCALE 1:200 @ A3		DRAWING NO. DA 2.103					
		DATE Sept. 18		CHECKED PT		PLOT DATE 14/7/21		REVISION E					
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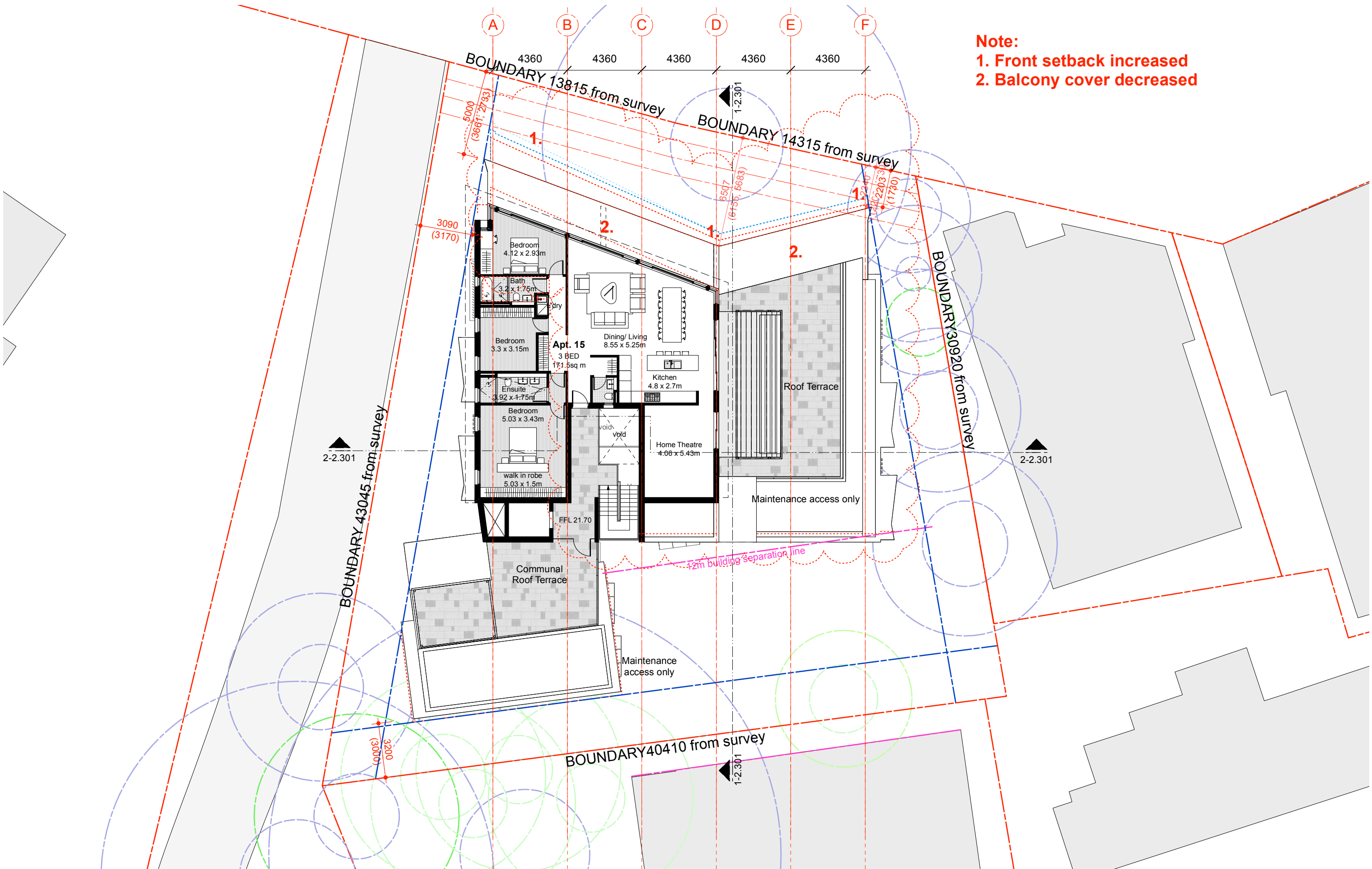


ARCHITECTS: hill thalis ARCHITECTURE + URBAN PROJECTS PTY LTD LEVEL 5, 68/72 Wentworth Ave Sydney NSW 2010 Australia T 02 9211 4274 F 02 9281 3171 E admin@hillthalis.com.au www.hillthalis.com.au Nominated Architects: Philip Thalis #6780 Sarah Hill #5285		REV A B C D E		DATE 20/3/19 26/11/19 22/3/21 24/5/21 14/7/21	AMENDMENT Development Application Issue Revised Development Application Revised for Council meeting Issued for Section 34 conference Section 34 Agreement	PROJECT 351-53 New South Head Rd Double Bay NSW 2028		DRAWING TITLE Level 2 Floor Plan			
CLIENT Kingsford Property Developments		JOB NO 18.41	DRAWN AR/BD	SCALE 1:200 @ A3	DRAWING NO. DA 2.104	DATE Sept. 18	CHECKED PT	PLOT DATE 14/7/21	REVISION E		

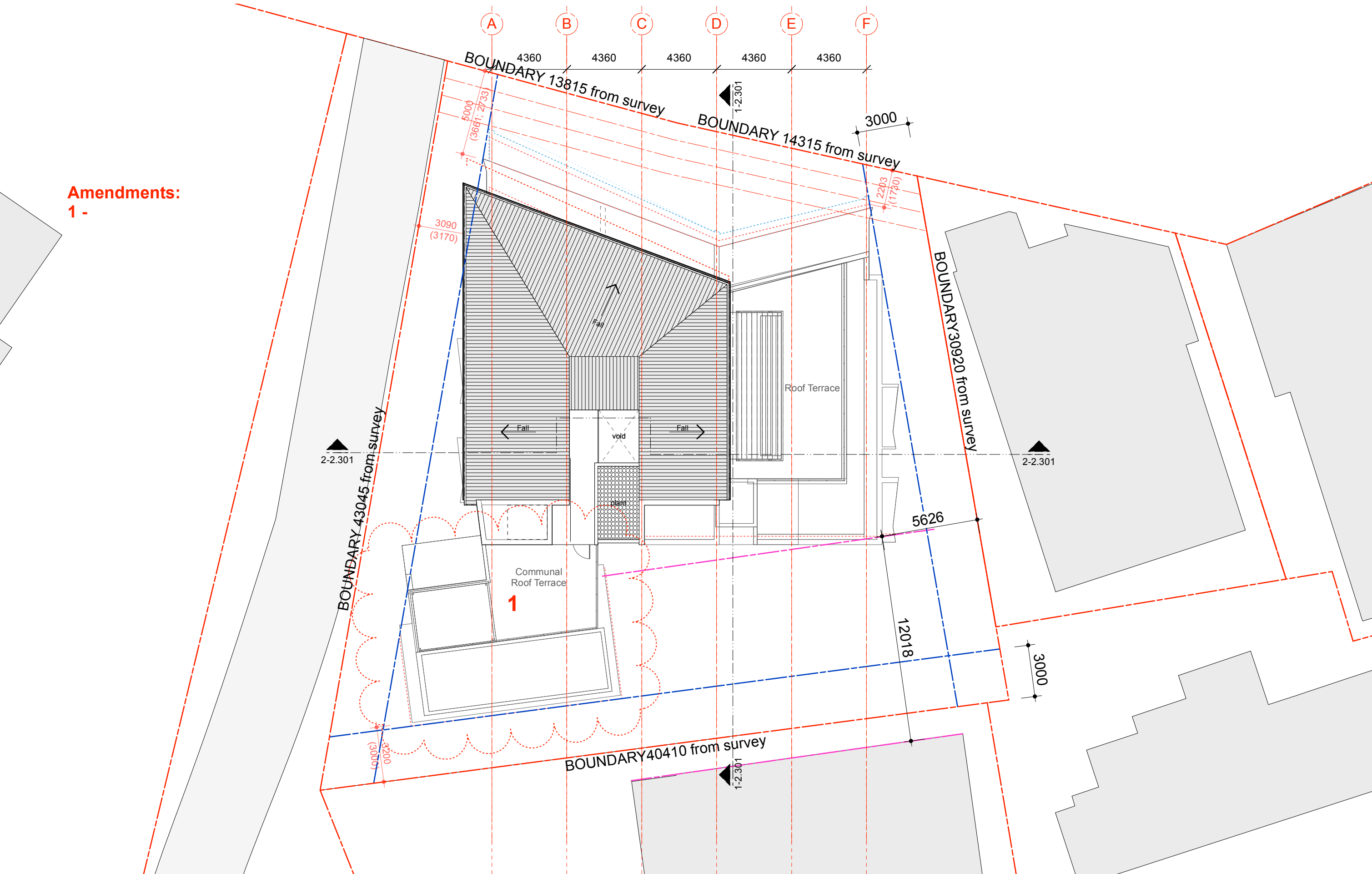


Note:
1. Front setback increased
2. Column size decreased
3. Balcony depth decreased

ARCHITECTS: hill thalis <small>ARCHITECTURE + URBAN PROJECTS PTY LTD LEVEL 3, 68/72 Wentworth Ave Sydney NSW 2010 Australia T 02 9211 4274 F 02 9281 3171 E admin@hillthalis.com.au www.hillthalis.com.au Nominated Architects: Philip Thalys #6780 Sarah Hill #5285</small>				REV A B C D E		DATE 20/3/19 26/11/19 24/4/20 24/5/21 14/7/21		AMENDMENT Development Application Issue Revised Development Application Revised Development Application Issued for Section 34 conference Section 34 Agreement		PROJECT 351-53 New South Head Rd Double Bay NSW 2028		DRAWING TITLE Level 3 Floor Plan	
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						DATE Sept. 18		CHECKED PT		PLOT DATE 14/7/21		REVISION E	



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								<div>JOB NO</div> <div>18.41</div>	<div>DRAWN</div> <div>AR/BD</div>	<div>SCALE</div> <div>1:200 @ A3</div>	<div>DRAWING NO.</div> <div>DA 2.106</div>
<div>CLIENT</div> <div>Kingsford Property Developments</div>		<div>DATE</div> <div>Sept. 18</div>	<div>CHECKED</div> <div>PT</div>	<div>PLOT DATE</div> <div>14/7/21</div>	<div>REVISION</div> <div>F</div>						



Amendments:
1 -

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REV

DATE

AMENDMENT

A20/3/19Development Application Issue

B26/11/19Revised Development Application

C24/4/20Revised Development Application

D24/5/21Issued for Section 34 conference

E14/7/21Section 34 Agreement

PROJECT

351-53 New South Head Rd

Double Bay NSW 2028

CLIENT

Kingsford Property Developments

DRAWING TITLE

Roof Plan

JOB NO

DRAWN

SCALE

DRAWING NO.

18.41

AR/BD

1:200

DA 2.107

DATE

CHECKED

PLOT DATE

REVISION

Sept. 18

PT @ A3

14/7/21

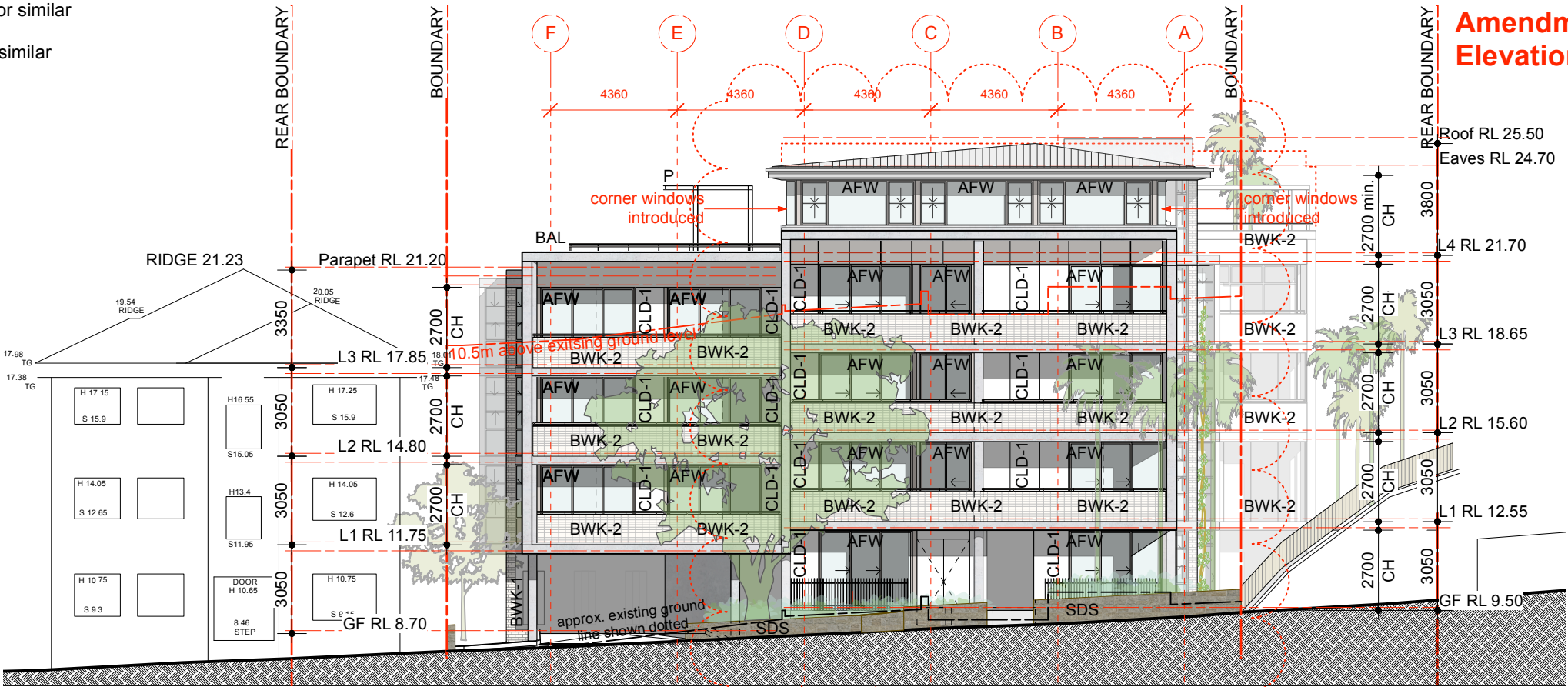
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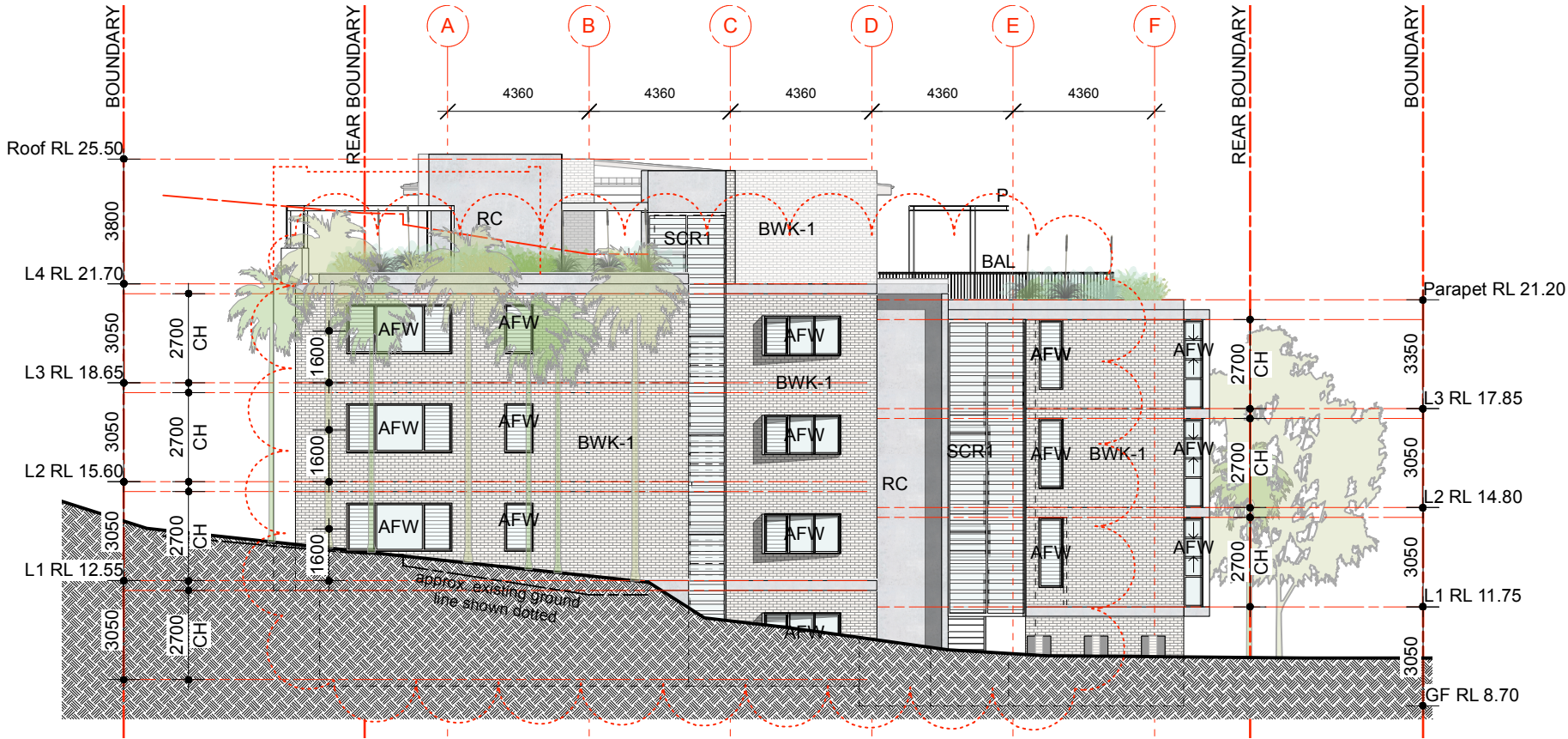
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BWK2 - BRICKWORK, FACE FINISH, ADBRI IVORY HONED FINISH
CL - CLOTHES LINE
CLD - CLADDING, CEMINTEL SURROUND, WHITEISH-BASE FC CLADDING
HR - TIMBER HANDRAIL
MR - METAL ROOF SHEET (TO BASIX)
P - PERGOLA
RC - OFF FORM REINFORCED CONCRETE
SCR1 - HORIZONTAL GLAZED LOUVERED SCREEN
SDS - SANDSTONE WALL (REPAIR AND REBUILD EXISTING)
SK - SKYLIGHT
SM - STEEL MESH (STAINLESS STEEL)

1 North Elevation
Scale: 1:200



Amendments:
Elevation modified

2 South Elevation
Scale: 1:200



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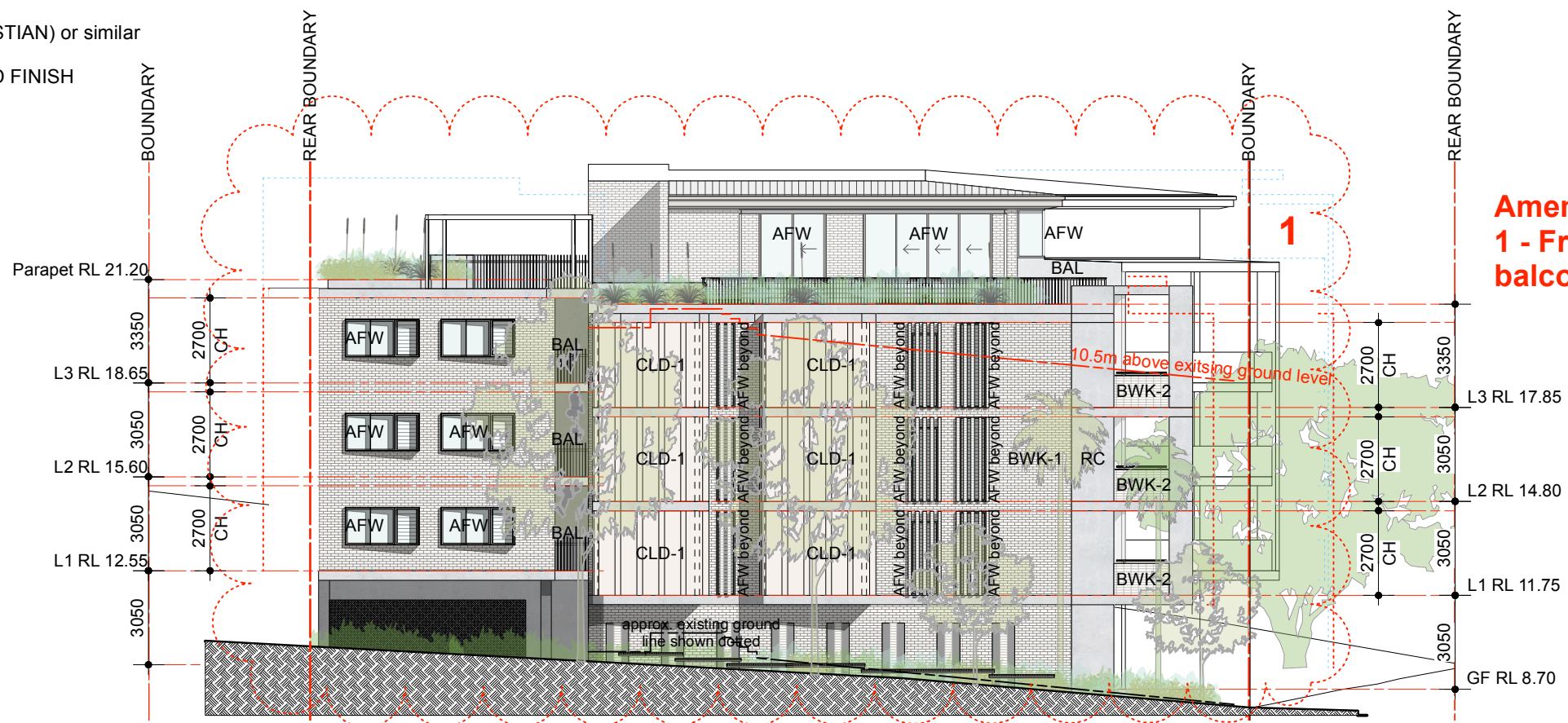
REV	DATE	AMENDMENT
B	20/3/19	Development Application Issue
C	26/11/19	Revised Development Application
D	4/6/20	Revised Development Application
E	24/5/21	Issued for Section 34 conference
F	18/6/21	Section 34 conference progress update
G	14/7/21	Section 34 Agreement

PROJECT	
351-53 New South Head Rd	
Double Bay NSW 2028	
CLIENT	
Kingsford Property Developments	

DRAWING TITLE			ELEVATIONS
JOB NO	DRAWN	SCALE	DRAWING NO.
18.41	AR/BD	1:200 @ A3	DA 2.201
DATE	CHECKED	PLOT DATE	REVISION
Sept. 18	PT	14/7/21	G

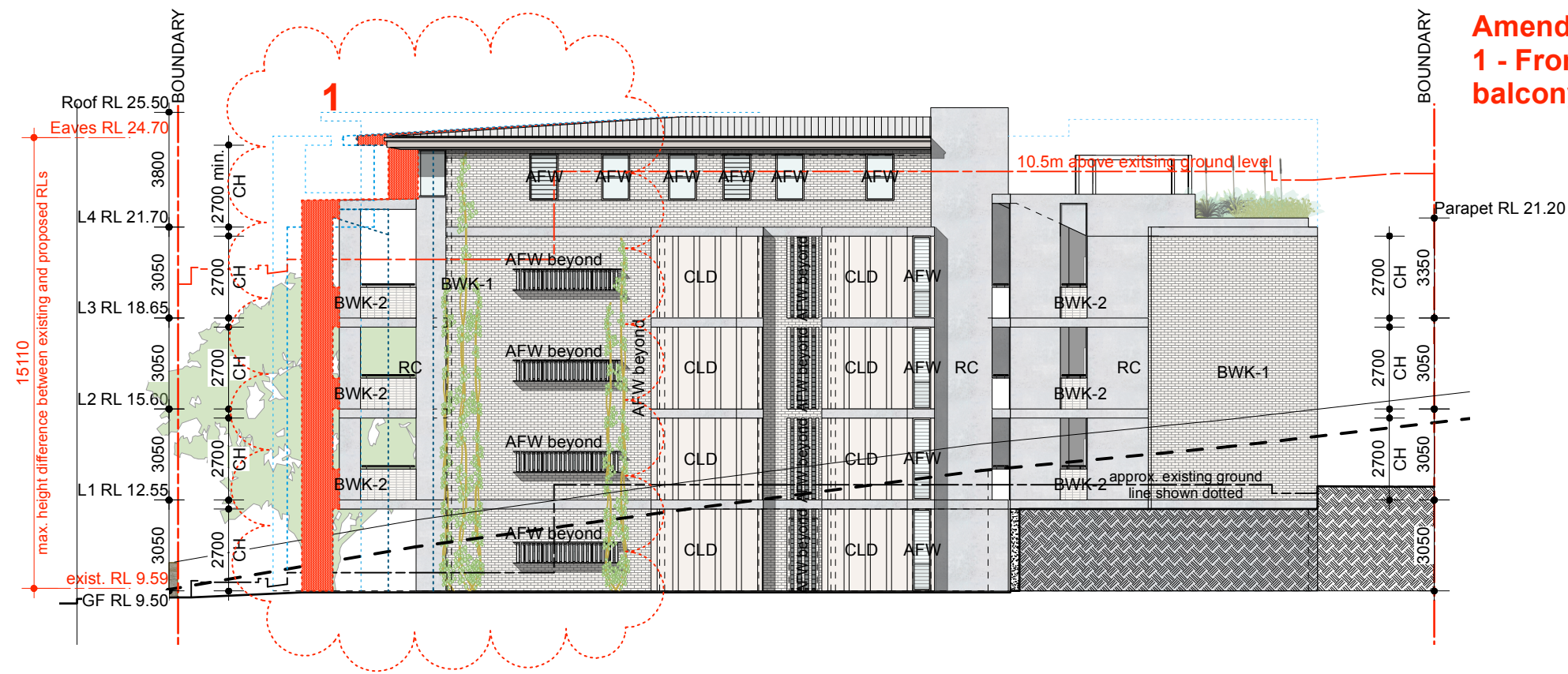
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1 East Elevation
Scale: 1:200



Amendments:
1 - Front setback increased, balcony depth decreased

2 West Elevation
Scale: 1:200

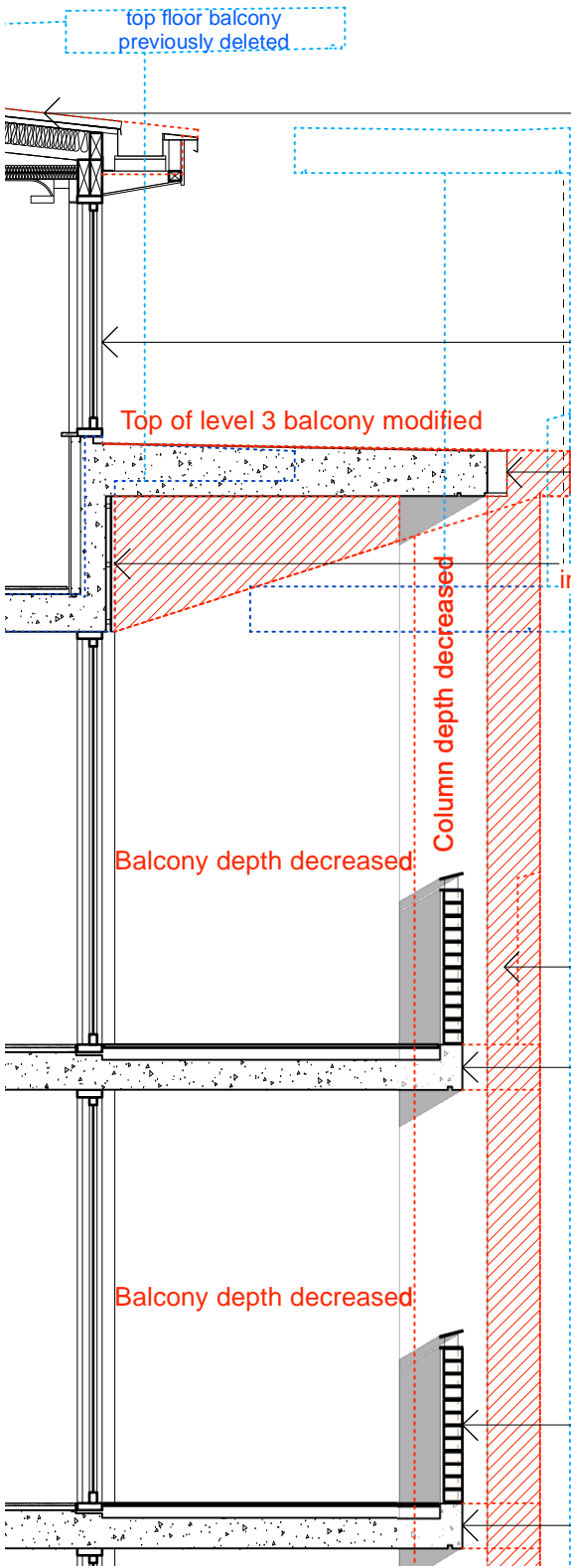
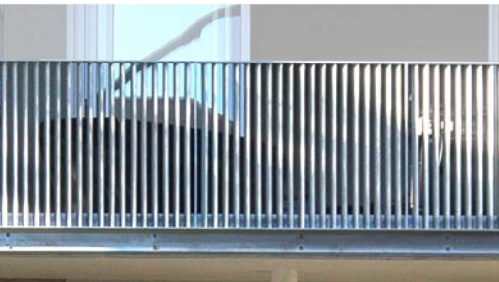


Amendments:
1 - Front setback increased, balcony depth decreased

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	A	20/3/19	Development Application Issue	351-53 New South Head Rd	ELEVATIONS			
	B	26/11/19	Revised Development Application	Double Bay NSW 2028	JOB NO	DRAWN	SCALE	DRAWING NO.
	C	4/6/20	Revised Development Application	CLIENT	18.41	AR/BD	1:200 @ A3	DA 2.202
	D	24/5/21	Issued for Section 34 conference	Kingsford Property Developments	DATE	CHECKED	PLOT DATE	REVISION
	E	18/6/21	Section 34 conference progress update		Sept. 18	PT	14/7/21	F
	F	14/7/21	Section 34 Agreement					

MATERIALS LEGEND

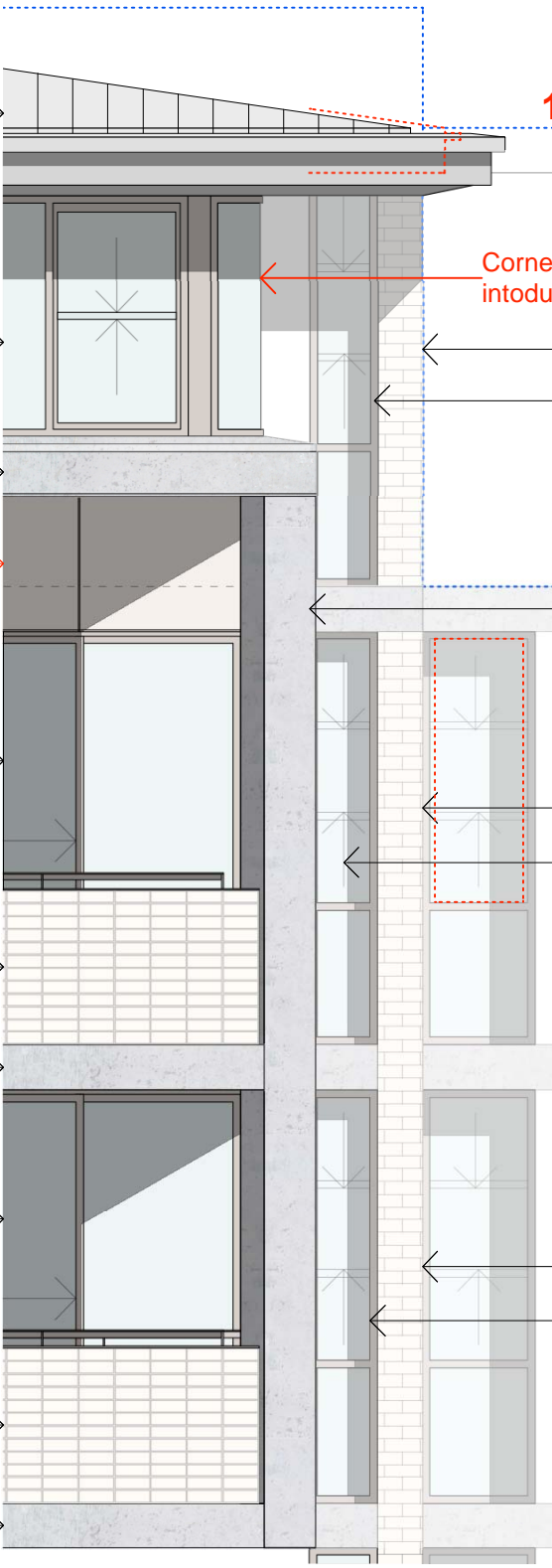
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6

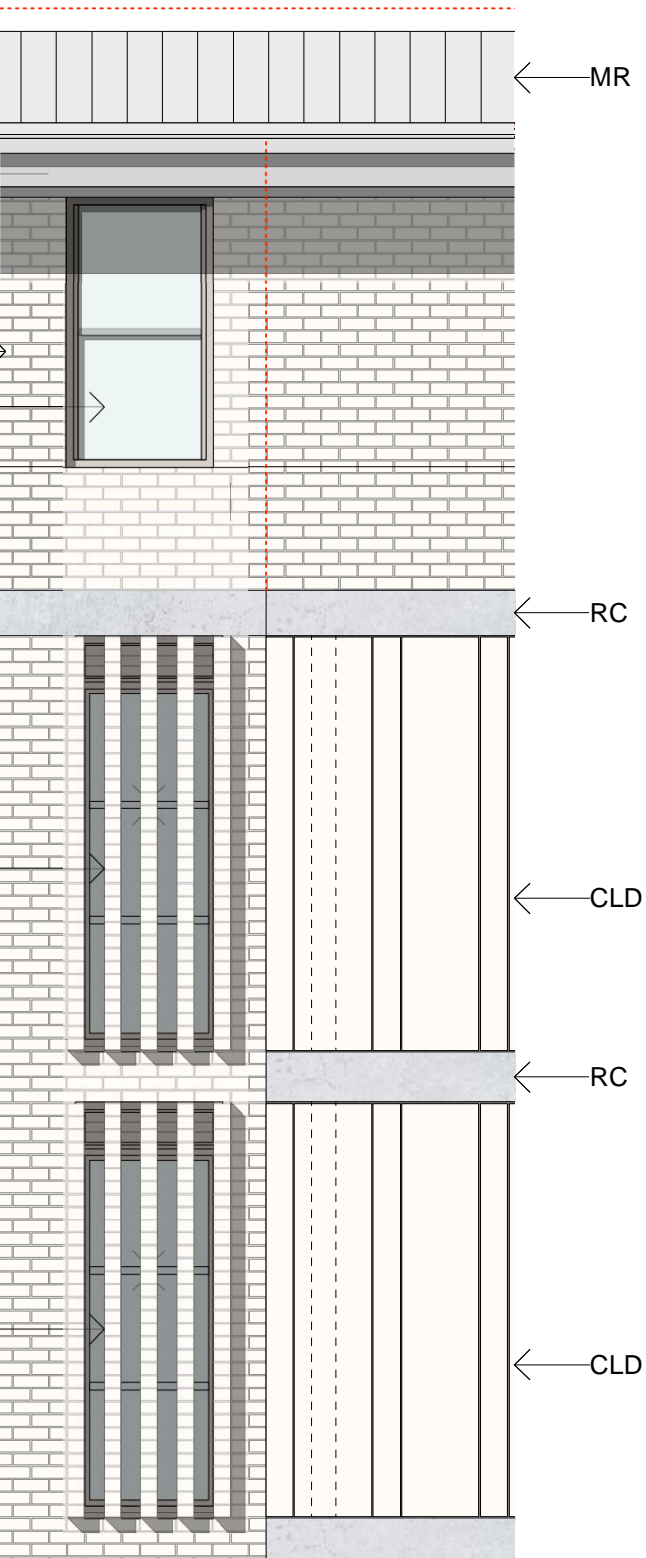
Detailed Section
Scale: 1:50

Amendments:
Section and Elevation modified



5

Detailed Elevation
Scale: 1:50



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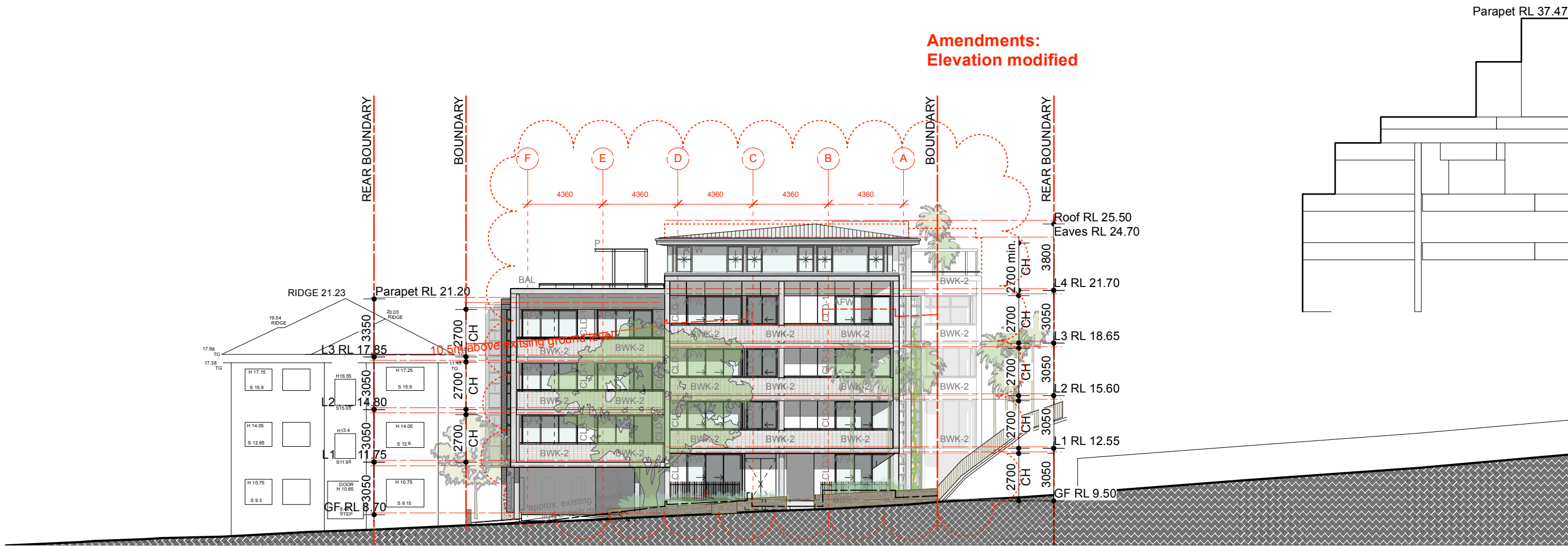
REV	DATE	AMENDMENT
B	26/11/19	Revised Development Application
C	18/3/20	Council Clarification
D	4/6/20	Revised Development Application
E	24/5/21	Issued for Section 34 conference
F	30/6/21	Progress update
G	14/7/21	Section 34 Agreement

PROJECT	351-53 New South Head Rd Double Bay NSW 2028
CLIENT	Kingsford Property Developments

DRAWING TITLE DETAILED ELEVATION			
JOB NO 18.41	DRAWN AR/BD	SCALE 1:50 @ A3	DRAWING NO. DA 2.203
DATE Sept. 18	CHECKED PT	PLOT DATE 14/7/21	REVISION G

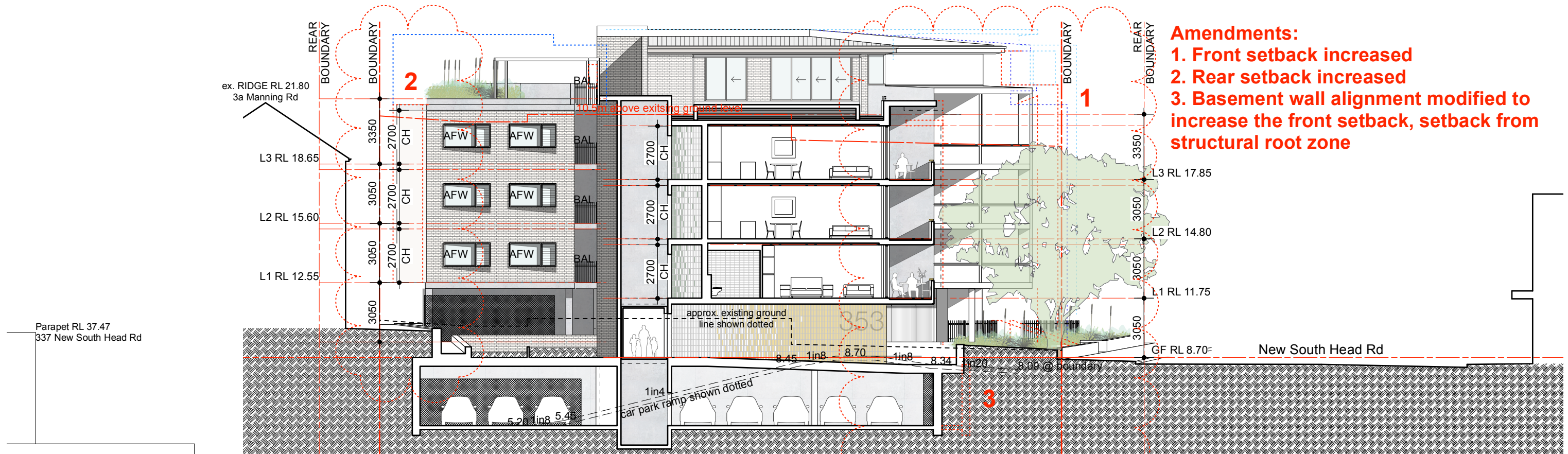
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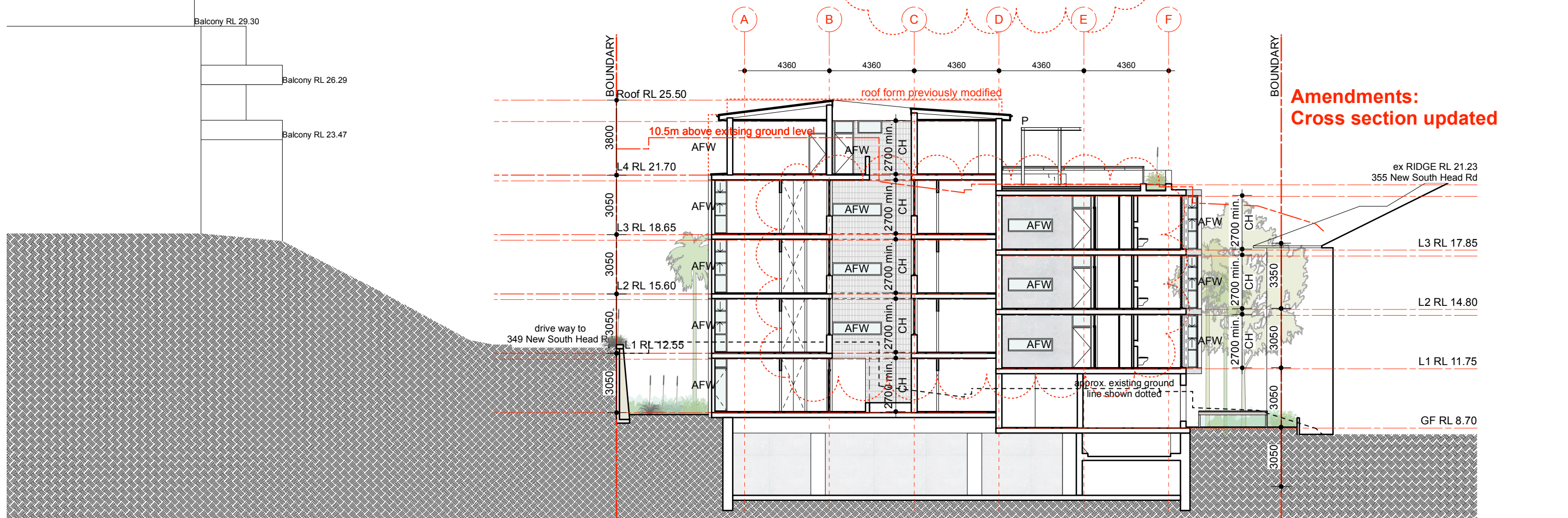


1 Street Elevation NSHR
Scale: 1:250

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							351-53 New South Head Rd			
							Double Bay NSW 2028			
							Kingsford Property Developments			
		A	23/3/21	Additional information for Council meeting		CLIENT	STREET ELEVATION NSHR			
							Issued for Section 34 conference			
							Section 34 Agreement			
		B	24/5/21	Issued for Section 34 conference		DATE	JOB NO			
							18.41			
							AR/BD			
							1:200 @ A3			
		C	14/7/21	Section 34 Agreement		PLOT DATE	DRAWING NO.			
							DA 2.204			
							REVISION			
							C			



Amendments:
1. Front setback increased
2. Rear setback increased
3. Basement wall alignment modified to increase the front setback, setback from structural root zone



Amendments:
Cross section updated

ARCHITECTS: hill thalis <small>ARCHITECTURE + URBAN PROJECTS PTY LTD LEVEL 5, 68-72 Wentworth Ave Sydney NSW 2010 Australia T 02 9211 4274 F 02 9281 3171 E admin@hillthalis.com.au www.hillthalis.com.au Nominated Architects: Philip Thalis #6780 Sarah Hill #5285</small>	REV	DATE	AMENDMENT	PROJECT 351-53 New South Head Rd Double Bay NSW 2028	CLIENT Kingsford Property Developments	DRAWING TITLE				SECTIONS	
						JOB NO 18.41	DRAWN AR/BD	SCALE 1:200	DRAWING NO. DA 2.301	REVISION E	
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